

# 4464 Sepulveda

## Mixed-Use Project : United Methodist Church + Affordable Housing Project

Church - 14,000 sf replacement Church Facility consisting of a 1-story Sanctuary Building and a 2-story Administration Building (Type V-A)

Housing - 95 unit, Six story 100% Affordable Housing (5-story Type V-A with 1-story Type I-A Podium) over 1 story Subterranean Garage (Type I-A)

### THE SITE

Address: 4464 Sepulveda Blvd, Culver City, CA 90230  
 APN: = 4215009016  
 Lot Area: = 61,728 sf (1.417 Acre) +/-  
 Zoning: = CN, CG  
 Tract: = 15658  
 Lot: = 1  
 Parcel Map: = P.M. 34-56

### A. PLANNING AND ZONING CODE ANALYSIS

#### SITE ANALYSIS

ZONING : = CN - CG  
 LOT AREA : = 61,728 SF (1.417 acre)  
 SITE COVERAGE : = 36,048 SF

TOTAL PROPOSED BUILDING AREA = 175,900 SF  
 TOTAL PROPOSED PARKING = 127 SPACES

#### ZONING ANALYSIS

OCCUPANCY GROUP = A-3, R-2, S-2  
 BUILDING HEIGHT (CG) (ALLOWED/PROPOSED) = 35' / 56'  
 BUILDING HEIGHT (CN) (ALLOWED/PROPOSED) = 45' / 70'-6"  
 SETBACK REQUIREMENTS  
 - REQUIRED (FRONT / NORTH SIDE / SOUTH SIDE/ REAR YARD) = 0'-0" / 10'-0" / 10'-0" / 35'-0" FT  
 - PROVIDED (FRONT / NORTH SIDE / SOUTH SIDE/ REAR YARD) = 0'-0" / 8'-0" / 10'-0" / 25'-0" FT

#### DENSITY CALCULATIONS

ALLOWED BASE DENSITY (50 UNITS/ acre) = 70 Units  
 ALLOWED W/TPA (1 UNIT / 670 SF) = 92 Units  
 ALLOWED W/AB1763 = Unlimited  
 PROPOSED (1 UNIT / 791 SF) = 95 Units

### ENTITLEMENT REQUESTS

95 UNIT, SIX STORY, 100% AFFORDABLE HOUSING (5-STORY TYPE V-A WITH 1-STORY TYPE I-A PODIUM) OVER 1 STORY SUBTERRANEAN GARAGE (TYPE I-A) WITH 33 UNITS PERMANENT SUPPORTIVE HOUSING.

0 PARKING REQUIRED FOR PROJECT WITHIN 1/2 MILE OF PUBLIC TRANSIT.  
 127 PARKING SPACES PROVIDED ON GRADE AND ONE BELOW GRADE LEVEL. SITE IS WITHIN A TRANSIT PRIORITY AREA

**NOTE : PROJECT REQUESTING THE FOLLOWING 4 INCENTIVES FOR 100% AFFORDABLE PROJECT IN A TPA:**

- REDUCTION OF REQUIRED 15-FOOT GROUND LEVEL FRONT SETBACK ALONG SEPULVEDA
- REDUCTION OF REQUIRED 35-FOOT SETBACK FOR PORTION OF BUILDING GREATER THAN 35 FEET IN HEIGHT ADJACENT TO THE R1 OR R2 ZONE
- RELIEF FROM MINIMUM UNIT SIZE REQUIREMENTS PER CCMC
- RELIEF FROM MIXED USE REQUIREMENT THAT MIN 10% OF COMMERCIAL USES PER CCMC

**NOTE: THE PROJECT IS REQUESTING THE FOLLOWING WAIVERS UNDER DENSITY BONUS**

- RELIEF FROM REQUIRED 60-DEGREE CLEAR ZONE ANGLE MEASURED 15 FEET FROM GRADE AND 10 FEET FROM SIDE AND REAR PROPERTY LINES FOR BUILDING GREATER THAN 15 FEET IN HEIGHT (TRANSITIONAL HEIGHT)
- REDUCTION OF REQUIRED 10-FOOT SIDE YARD SETBACK ON THE NORTH YARD TO 8 FEET.

### B. HOUSING SUMMARY (CN ZONE)

RESIDENTIAL LOT AREA = 42,535 SF  
 PROPOSED CONSTRUCTION TYPE = 5 STORY TYPE-VA OVER BASEMENT + PODIUM TYPE 1-A

PROPOSED BUILDING AREA = 139,500 SF  
 CHURCH PARKING(FIRST FLOOR) = 22,400 SF  
 TOTAL BUILDING AREA = 161,900 SF  
 ALLOWABLE BLDG HEIGHT = 45' OR 35' FOR PORTION OF BUILDING WITHIN 35' FROM R1 ZONE

PROPOSED BLDG HEIGHT (W/GC65915) = 70'-6"

#### UNIT SUMMARY

1 BEDROOM (552 SF) = 47 UNITS  
 2 BEDROOM (800 SF) = 25 UNITS  
 3 BEDROOM (1100 SF) = 23 UNITS  
**TOTAL = 95 UNITS**

#### ACCESSIBLE UNIT COUNT

13% MOBILITY UNITS: 95 X 0.15 = 15  
 ACCESSIBLE UNITS FOR PERSONS WITH MOBILITY FEATURES: = 15  
 1B - 6 UNITS  
 2B - 5 UNITS  
 3B - 4 UNITS

10% COMMUNICATION FEATURE UNITS: 95 X 0.10 = 10  
 ACCESSIBLE UNITS FOR PERSONS WITH COMMUNICATION FEATURES: = 10  
 1B - 4 UNITS  
 2B - 3 UNITS  
 3B - 3 UNITS

\* UNITS SHALL BE DISTRIBUTED THROUGHOUT THE PROJECT CONSISTENT WITH 24 CFR SECTION 8.26

### OPEN SPACE & LANDSCAPE

PER CCMC 17.400.065 G.3, 75 SF OF COMMON AND/OR PRIVATE OPEN SPACE PER UNIT WITH 1 OR MORE BEDROOMS

OPEN SPACE REQUIRED = 75SF X 95 units = 7,125 SF

PROVIDED: REAR YARD = 3,226 SF  
 COURTYARD = 4,550 SF  
**TOTAL = 7,776 SF**

LANDSCAPE PLAN IS NOT DEVELOPED YET.  
 A MINIMUM OF 75% OF PLANTS WILL BE SELECTED FROM LA COUNTY DROUGHT-TOLERANT PLANT LIST

### STORAGE

PER CCMC 17.400.105 B.4, 100 CF OF STORAGE SPACE PER UNIT

STORAGE SPACE INDICATED ON A2.1 - BASEMENT PLAN. 100CF OF STORAGE PROVIDED FOR EACH DWELLING UNIT

### PARKING

1BR = 1 SPACE / UNIT = 47  
 2BR = 2 SPACES / UNIT = 50  
 3BR = 2 SPACES / UNIT = 46

TOTAL REQUIRED = 143  
 TOTAL ALLOWED (W/SB35) = 0  
**TOTAL PROVIDED (BELOW GRADE) = 64 SPACES**

EV REQUIRED : 10% OF REQUIRED PARKING (RESIDENTIAL) (PER 17.320.035 O2.c of CCMC) = 10% OF 64 = 7 SPACES

EV PROVIDED = 7 SPACES

### PARKING SUMMARY (BICYCLE):

REQUIRED: 10% OF REQUIRED VEHICULAR PARKING (RESIDENTIAL) (PER 17.320.045 A.1 OF CCMC) = 10% OF 64 = 7 STALLS

PROVIDED: Long-Term Stalls = 45 Stalls  
 Short-Term Stalls = 4 Stalls  
**TOTAL PROVIDED = 46 STALLS**



### C. COMMERCIAL SUMMARY (CG ZONE)

CHURCH LOT AREA = 19,152 SF  
 PROPOSED CONSTRUCTION TYPE = TYPE-VA  
 PROPOSED BUILDING AREA = 14,000 SF

#### ADMIN + PRESCHOOL BUILDING

PROPOSED BUILDING HEIGHT = 28'-6"  
 PROPOSED CONSTRUCTION TYPE = TWO STORY, TYPE V-A  
 PROPOSED BUILDING AREA = FIRST FLOOR = 3,817 SF  
 SECOND FLOOR = 3,452 SF  
 TOTAL AREA = 7,269 SF

#### SANCTUARY BUILDING

PROPOSED BUILDING HEIGHT = 35'-0"  
 TOTAL HEIGHT (TOWER) = 55' -0"  
 PROPOSED CONSTRUCTION TYPE = TYPE V-A  
 PROPOSED BUILDING AREA = 6,731 SF

TOTAL AREA (SANCTUARY+ADMIN+PRESCHOOL) = 14,000 SF

#### PARKING

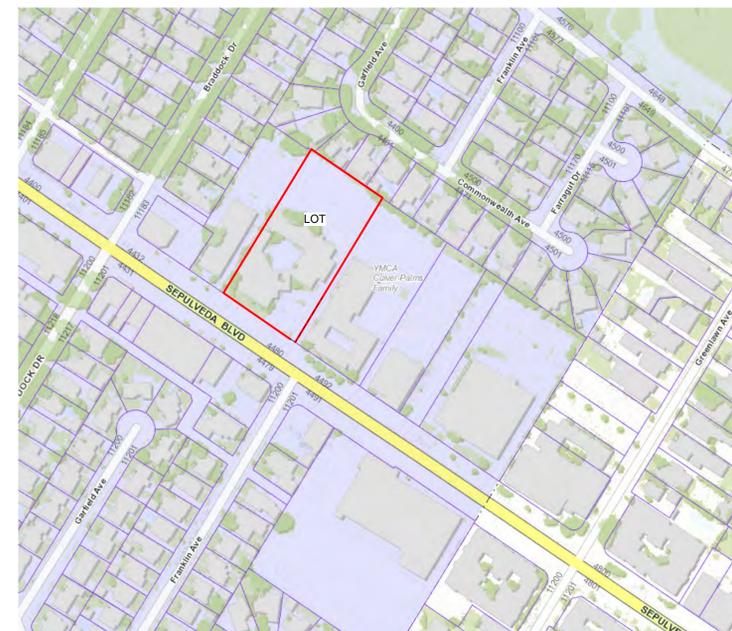
CHURCH = 1 SPACE / 35 SF ASSEMBLY = 60 (1 Space / 2100 SF Sanctuary)  
 PRESCHOOL = 1 SPACE / 300 SF = 5

TOTAL REQUIRED = 65 SPACES  
**TOTAL PROVIDED (ON GRADE) = 63 SPACES**

#### LANDSCAPE

OPEN SPACE AREA = 5,678 SF  
 LANDSCAPE AREA PROVIDED = 3,630 SF

### VICINITY MAP



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#### CONSTRUCTION NOTES:

### REQUIRED SUSTAINABLE BUILDING METHODS

- OUTDOOR WATER CONSERVATION MEASURES THAT INCLUDE:  
 1) USE NATIVE OR DROUGHT-TOLERANT PLANTS FOR A MINIMUM OF 75% OF LANDSCAPED AREA.  
 2) LIMIT CONVENTIONAL GRASS/TURF TO 25% OF LANDSCAPED AREA.  
 3) GROUP PLANTS WITH SIMILAR WATERING NEEDS (HYDROZONES).  
 4) INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART IRRIGATION CONTROLS FOR ALL LANDSCAPING.
- AT MINIMUM THE PROJECT SHALL RECYCLE AND/OR SALVAGE 70% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS.
- THE PROJECT SHALL PROVIDE AN EASILY-ACCESSIBLE RECYCLING AREA FOR TENANT USE THAT SERVES THE ENTIRE BUILDING.

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PROJECT NAME:  
**4464 SEPULVEDA**

PROJECT ADDRESS:  
 4464 SEPULVEDA BLVD,  
 CULVER CITY, CA 90230

CLIENT NAME:  
 COMMUNITY CORP OF  
 SANTA MONICA

CLIENT ADDRESS:  
 1820 14TH STREET,  
 SANTA MONICA, CA 90401

DRAWING TITLE:  
**PROJECT SUMMARY**

PROJECT NUMBER 2013  
 NO. DESCRIPTION DATE

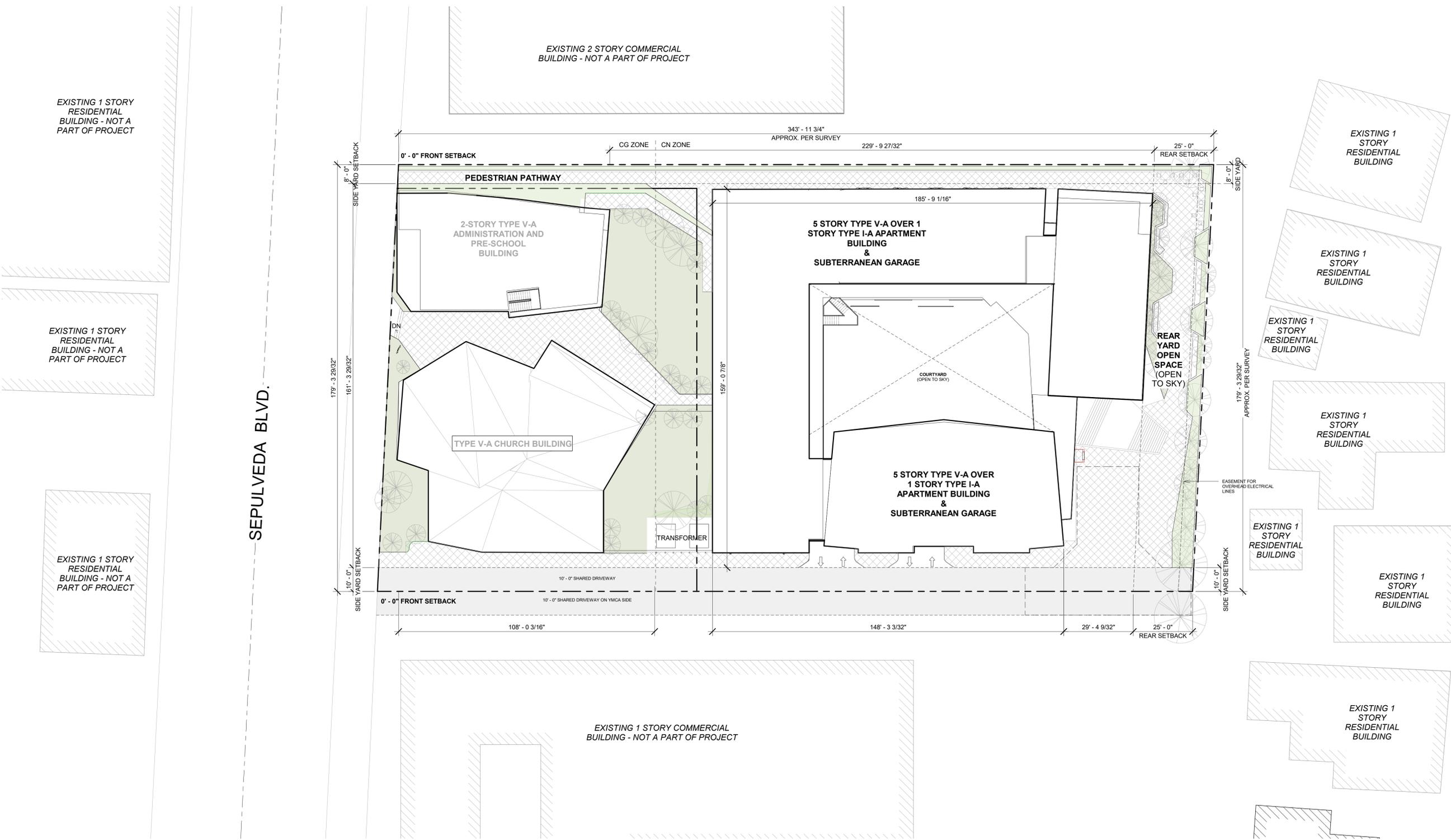
**ENTITLEMENT SET**  
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**A0.1**

Scale

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**CONSTRUCTION NOTES:**



EXISTING 1 STORY RESIDENTIAL BUILDING - NOT A PART OF PROJECT

EXISTING 1 STORY RESIDENTIAL BUILDING - NOT A PART OF PROJECT

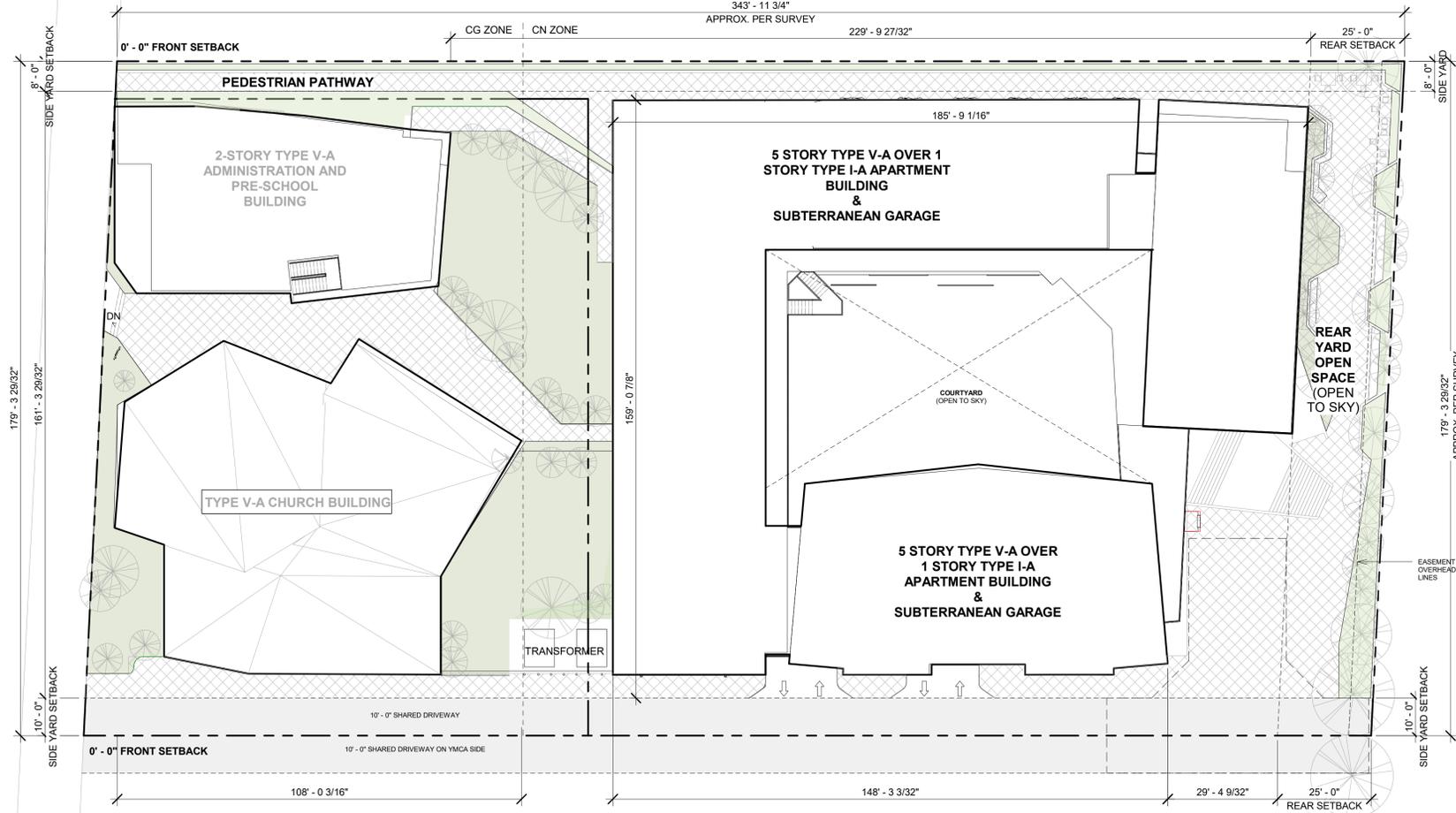
EXISTING 1 STORY RESIDENTIAL BUILDING - NOT A PART OF PROJECT

EXISTING 2 STORY COMMERCIAL BUILDING - NOT A PART OF PROJECT

EXISTING 1 STORY RESIDENTIAL BUILDING

EXISTING 1 STORY COMMERCIAL BUILDING - NOT A PART OF PROJECT

SEPULVEDA BLVD.



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DRAWING TITLE:  
SITE PLAN

PROJECT NUMBER	2013	
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**ENTITLEMENT SET**

Date	04/11/22
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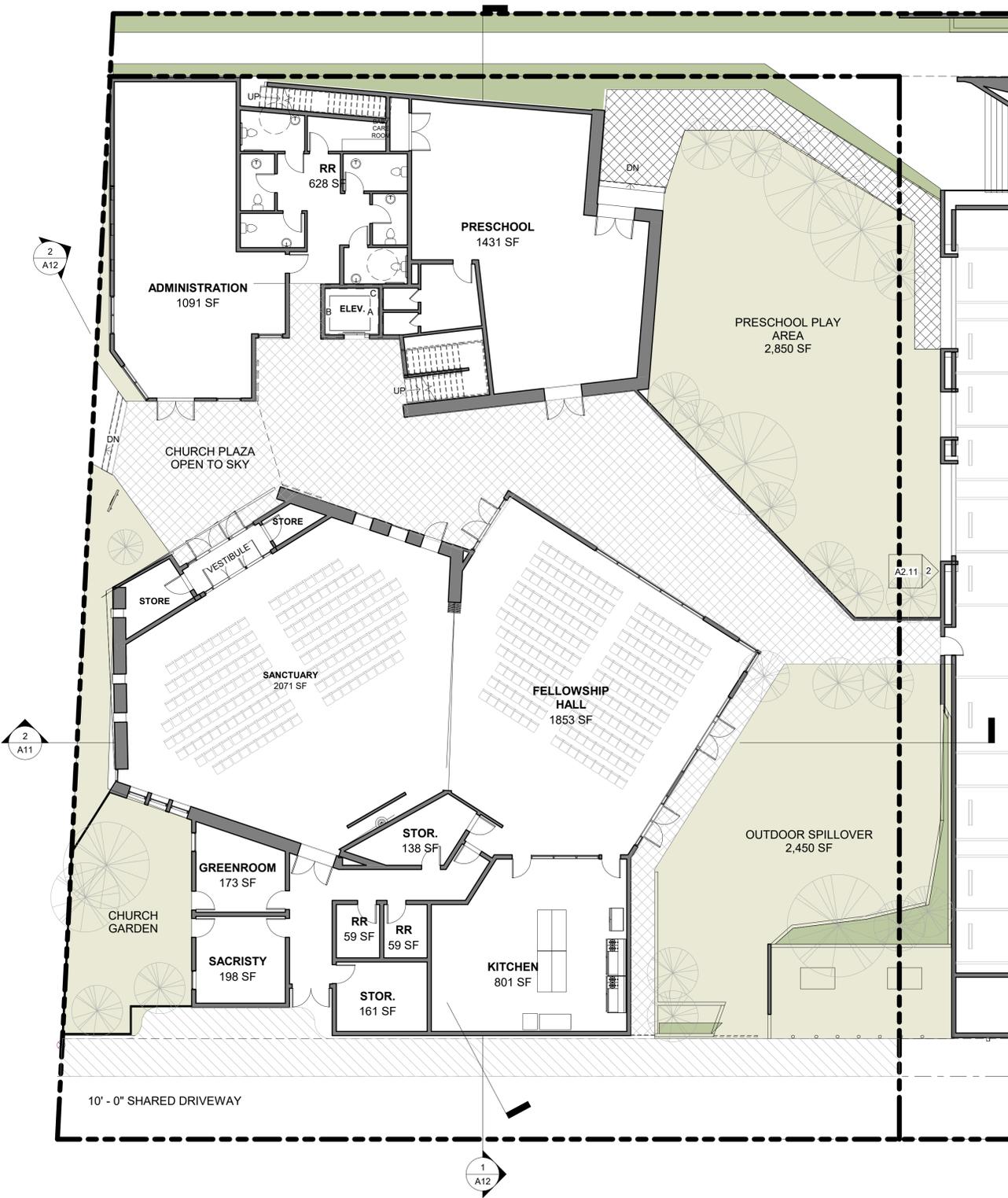
Scale 1" = 20'-0"

2 SITE PLAN  
1" = 20'-0"

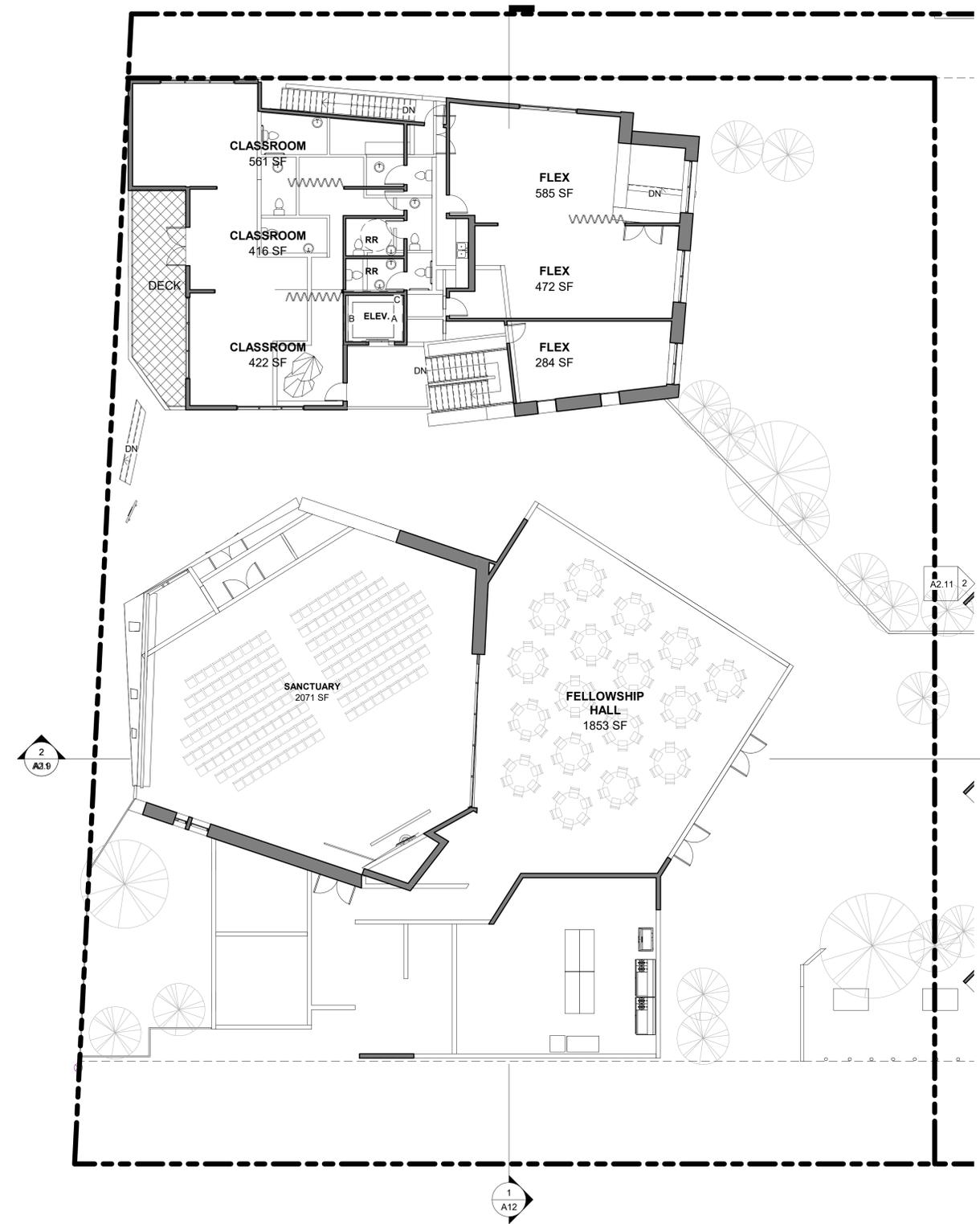
A1

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**CONSTRUCTION NOTES:**



1 01\_GROUND FLOOR CHURCH  
3/32" = 1'-0"



2 SECOND FLOOR PLAN  
3/32" = 1'-0"

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DRAWING TITLE:  
CHURCH FLOOR PLANS

NO.	DESCRIPTION	DATE
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Date	04/11/22
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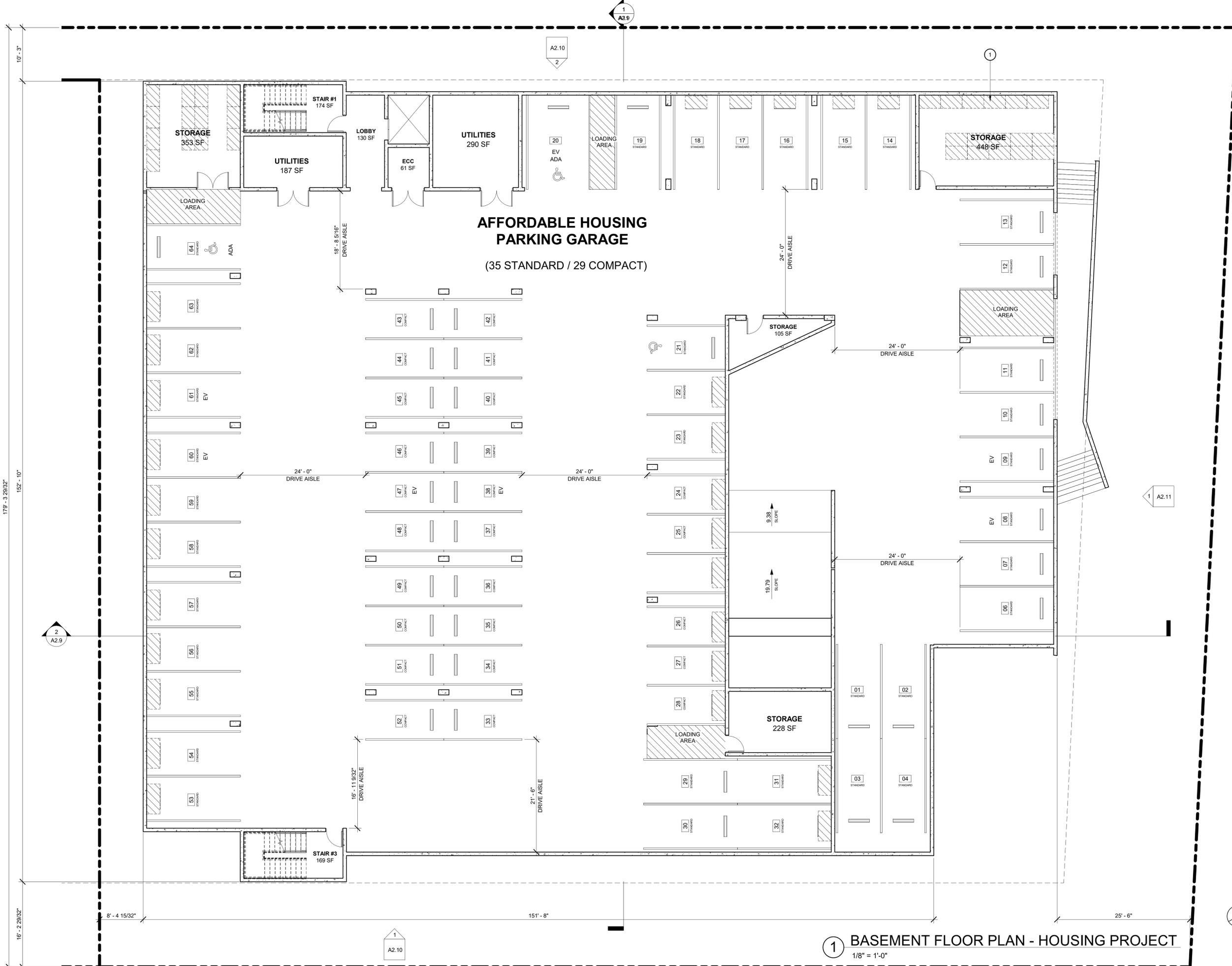
**A0.2**

Scale 3/32" = 1'-0"

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**CONSTRUCTION NOTES:**

1. STORAGE LOCKERS FOR RESIDENTIAL UNITS



**1 BASEMENT FLOOR PLAN - HOUSING PROJECT**  
1/8" = 1'-0"

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DRAWING TITLE:  
HOUSING - BASEMENT FLOOR PLAN

PROJECT NUMBER: 2013

NO.	DESCRIPTION	DATE

**ENTITLEMENT SET**

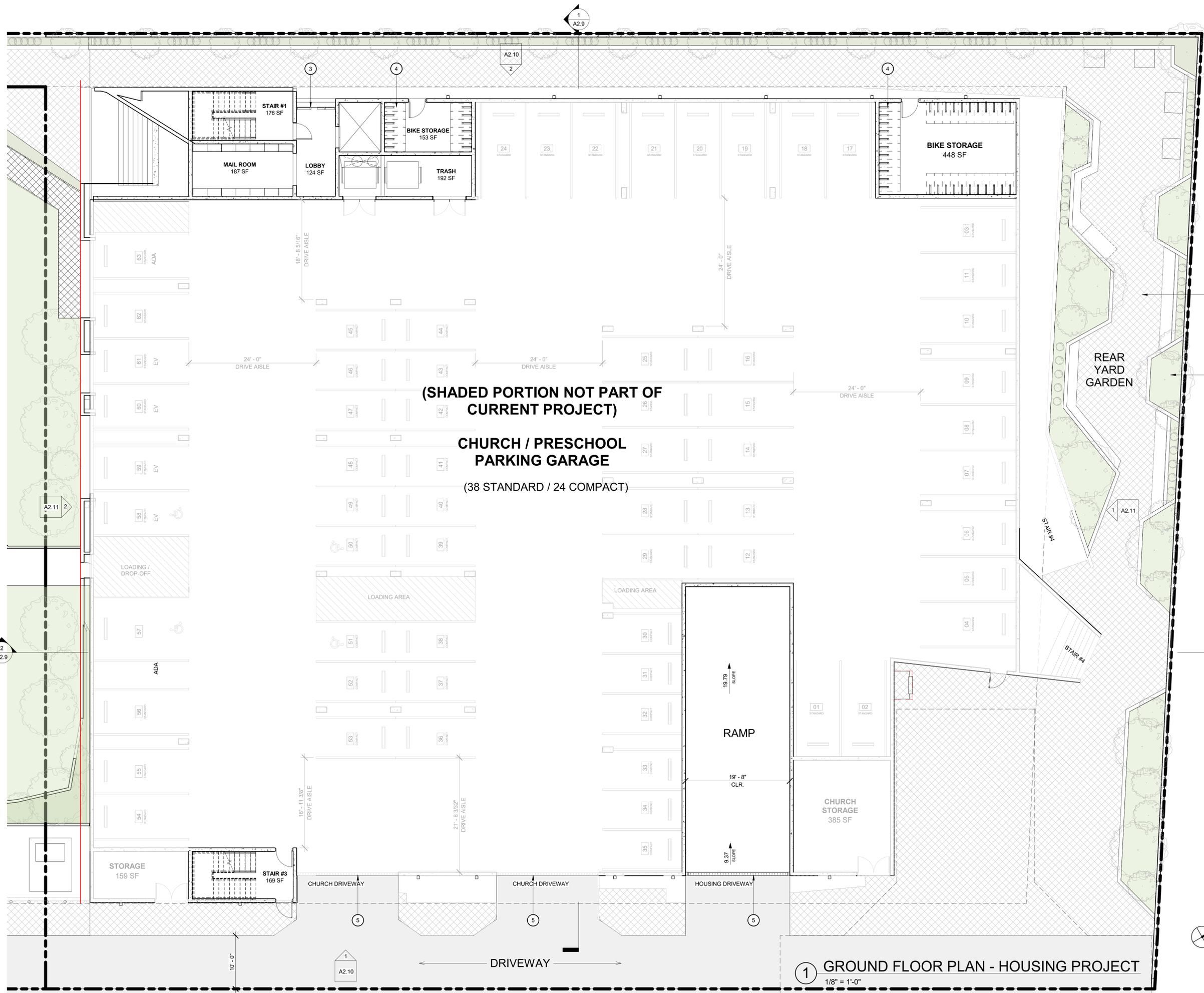
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**A2.1**  
Scale 1/8" = 1'-0"

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**CONSTRUCTION NOTES:**

1. SOFTSCAPE LANDSCAPING/PLANTING
2. PAVERS PER LANDSCAPE
3. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
4. LONG-TERM DOUBLE BIKE STALL TO BE USED AS RESIDENTIAL SHORT-TERM BIKE STORAGE, COMPLYING WITH BICYCLE PARKING ORDINANCE CF-12-1297-S1. BICYCLE STALLS SHALL USE THE STANDARD PLAN IN COMPLIANCE WITH S-671-2. SEE A10.06
5. AUTOMATIC ROLLING SECURITY GATE TO COMPLY WITH UL325



(SHADED PORTION NOT PART OF CURRENT PROJECT)  
**CHURCH / PRESCHOOL PARKING GARAGE**  
 (38 STANDARD / 24 COMPACT)

**1 GROUND FLOOR PLAN - HOUSING PROJECT**  
 1/8" = 1'-0"

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**DRAWING TITLE:**  
 HOUSING - GROUND FLOOR PLAN

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**A2.2**

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**CONSTRUCTION NOTES:**

1. 42" TALL METAL PICKET GUARDRAIL
2. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
3. VINYL WINDOW W/ ALUMINUM FINISH
4. STUCCO FINISH (LA HABRA - COLOR VARIES)
5. CONCRETE TOPPING SLAB COLOUR TO BE DECIDED BY ARCHITECT. SLOPE TO DRAINS (1.5% TYP., 2% MAX.), BROOMED FINISH.
6. PERFORATED METAL AWNING
7. CHAIRLIFT FOR WHEELCHAIR ACCESS



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DRAWING TITLE:  
 HOUSING - SECOND FLOOR PLAN

PROJECT NUMBER	2013	
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**1 SECOND FLOOR PLAN - HOUSING PROJECT**  
 1/8" = 1'-0"

**A2.3**  
 Scale 1/8" = 1'-0"

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6. PERFORATED METAL AWNING



**1 THIRD FLOOR PLAN - HOUSING PROJECT**  
1/8" = 1'-0"

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HOUSING - THIRD FLOOR PLAN

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**A2.4**  
Scale 1/8" = 1'-0"

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3. VINYL WINDOW W/ ALUMINUM FINISH
4. STUCCO FINISH (LA HABRA - COLOR VARIES)
5. CONCRETE TOPPING SLAB COLOUR TO BE DECIDED BY ARCHITECT. SLOPE TO DRAINS (1.5% TYP., 2% MAX.), BROOMED FINISH.
6. PERFORATED METAL AWNING



**1** FOURTH FLOOR PLAN - HOUSING PROJECT  
1/8" = 1'-0"

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HOUSING - FOURTH FLOOR PLAN

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**A2.5**

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4. STUCCO FINISH (LA HABRA - COLOR VARIES)
5. CONCRETE TOPPING SLAB COLOUR TO BE DECIDED BY ARCHITECT. SLOPE TO DRAINS (1.5% TYP., 2% MAX.), BROOMED FINISH.
6. PERFORATED METAL AWNING



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DRAWING TITLE:  
HOUSING - FIFTH FLOOR PLAN

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**A2.6**

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**CONSTRUCTION NOTES:**



**FSY**  
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DRAWING TITLE:  
HOUSING - SIXTH FLOOR PLAN

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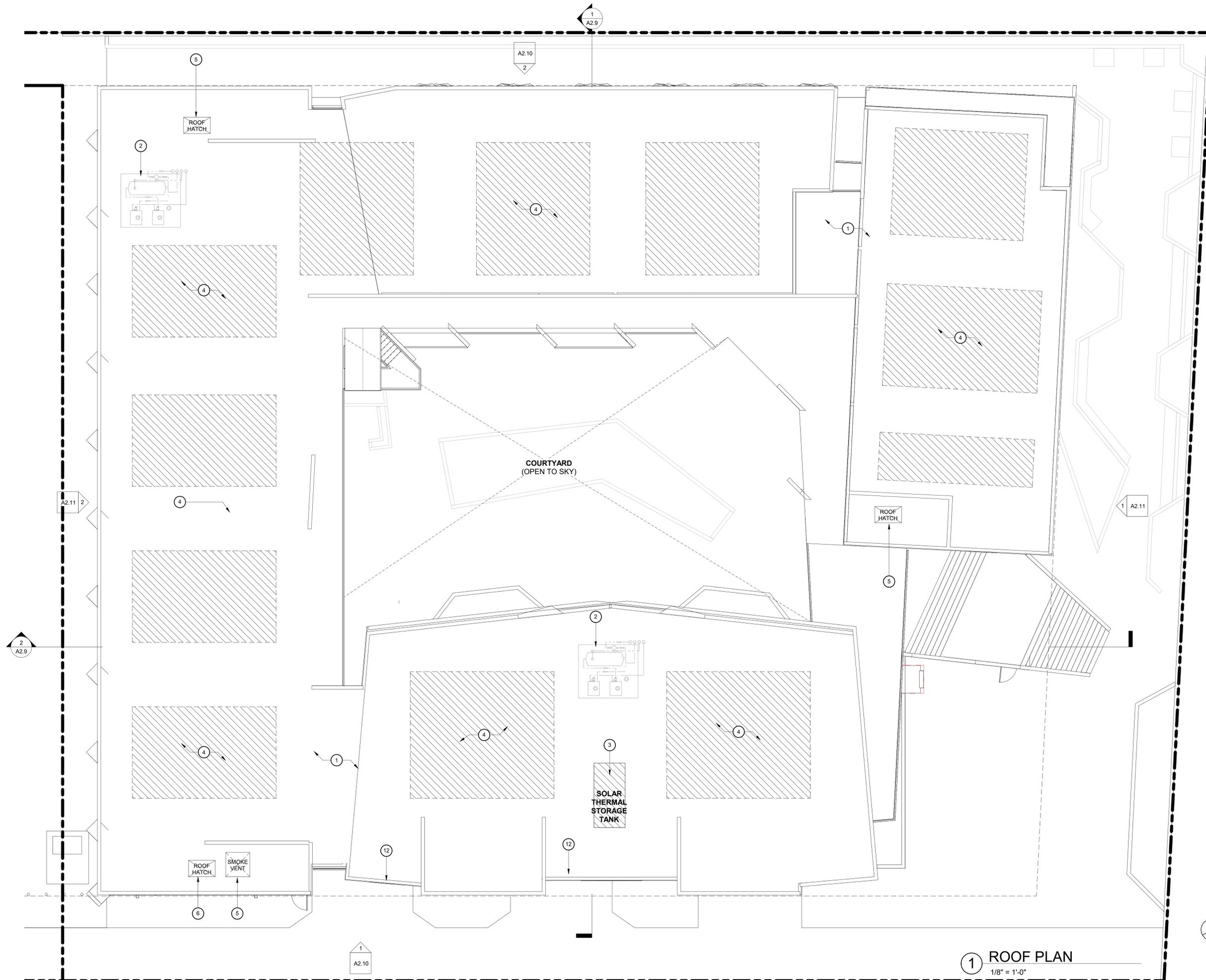
1 07\_SIXTH FLOOR  
1/8" = 1'-0"

**A2.7**  
Scale 1/8" = 1'-0"

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**CONSTRUCTION NOTES:**

1. 60MIL MIN. FIRESTONE ULTRAPLY WHITE OR EQUAL CLASS 'A' SINGLE PLY COOL ROOF OVER 1/4" DENS DECK PRIME SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER REQUIREMENTS. MINIMUM 78 SRI (SOLAR REFLECTANCE INDEX) CONTRACTOR TO PROVIDE MINIMUM 20 YEAR NDL WARRANTY AND 3 YEAR SUB CONTRACTOR GUARANTEE. ICC# ESR 2831 (REFER TO CUT SHEET S723-RFS-012, TIS #201 ON A10.16A FOR TECHNICAL INFORMATION)
2. WATER BOILER AND EQUIPMENT
3. SOLAR PREHEATING TANK
4. SOLAR PANELS FOR SOLAR PREHEATING
5. ROOF ACCESS HATCH WITH LADDER ACCESS PER CBC 1011.2
6. SMOKE VENT
7. 12" LOW PARAPET WALL



**1 ROOF PLAN**  
1/8" = 1'-0"

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COMMUNITY CORP OF  
SANTA MONICA

CLIENT ADDRESS:  
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SANTA MONICA, CA 90401

DRAWING TITLE:  
HOUSING -ROOF PLAN

PROJECT NUMBER	2013	
NO.	DESCRIPTION	DATE

**ENTITLEMENT SET**

Date	04/11/22
Drawn by	Author
Checked by	Checker

**A2.8**

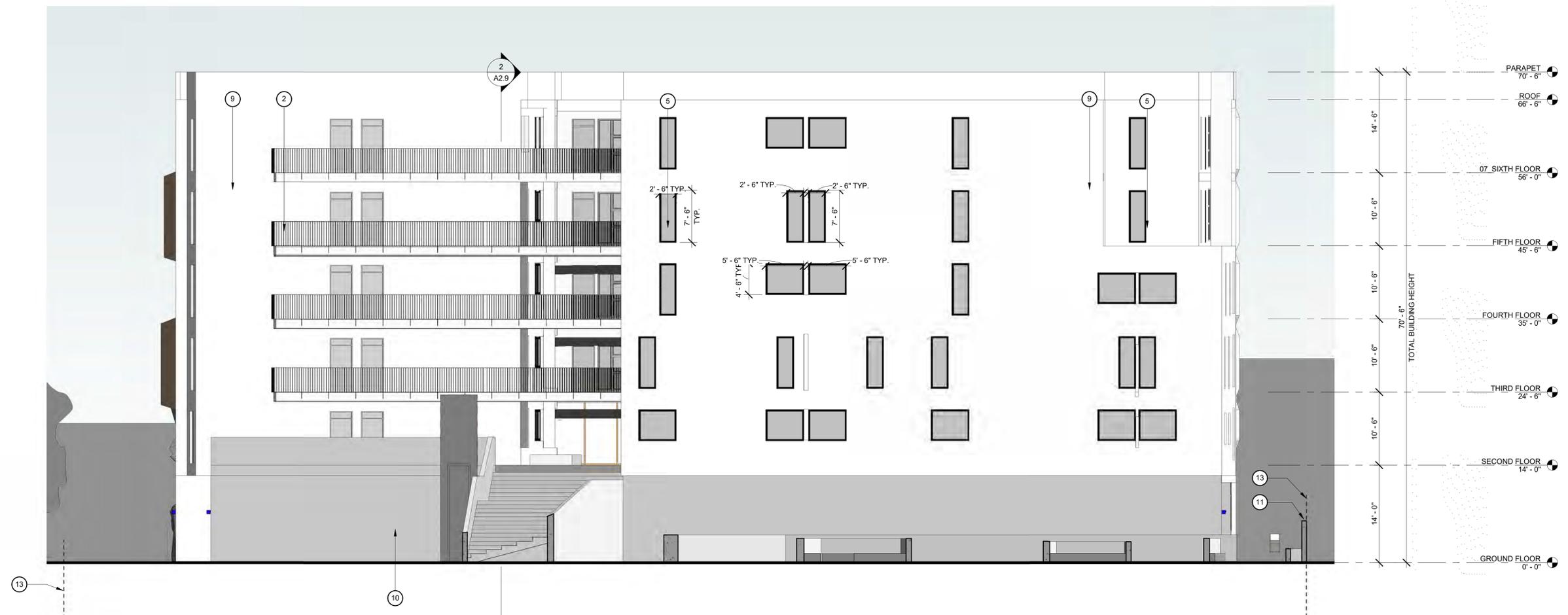
Scale 1/8" = 1'-0"



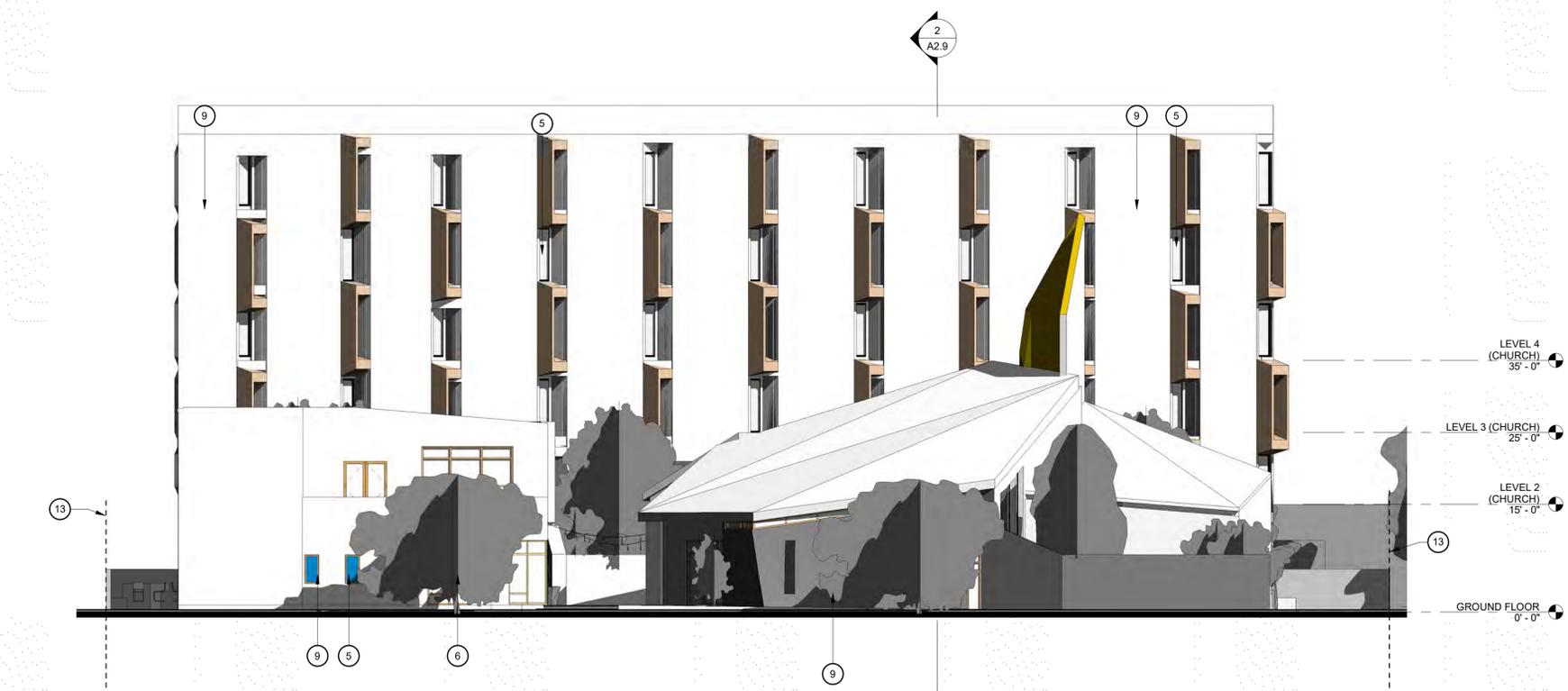
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**CONSTRUCTION NOTES:**

- NOTES**
1. FRAMED 42" MIN. HIGH GUARDRAIL, TYP.
  2. 42" MIN. HIGH GUARDRAIL, TYP.
  3. PARAPET WALL
  4. SHEET METAL COPING (COLOR MATCHED TO STUCCO)
  5. VINYL WINDOW PER PLAN AND SCHEDULE
  6. STOREFRONT PER PLAN
  7. WROUGHT IRON METAL GATE & FENCE
  8. SURFACE MOUNTED EXTERIOR LIGHTING FIXTURE, TYP.
  9. STUCCO FINISH (LA HABRA, COLOR 1)
  10. STUCCO FINISH (LA HABRA, COLOR 2)
  11. NEW 6' TALL CONCRETE BLOCK MASONRY WALL
  12. TRANSFORMERS
  13. PROPERTY LINE
  14. CHAIRLIFT FOR WHEELCHAIR ACCESS FROM THE PODIUM TO REAR YARD



**2 NORTH ELEVATION - REAR YARD**  
1/8" = 1'-0"



**1 SOUTH ELEVATION - SEPULVEDA BLVD**  
3/32" = 1'-0"

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**DRAWING TITLE:**  
ELEVATIONS

**PROJECT NUMBER:** 2013

NO.	DESCRIPTION	DATE

**ENTITLEMENT SET**

Date	04/11/22
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Checked by	Checker

**A10**

Scale: As indicated

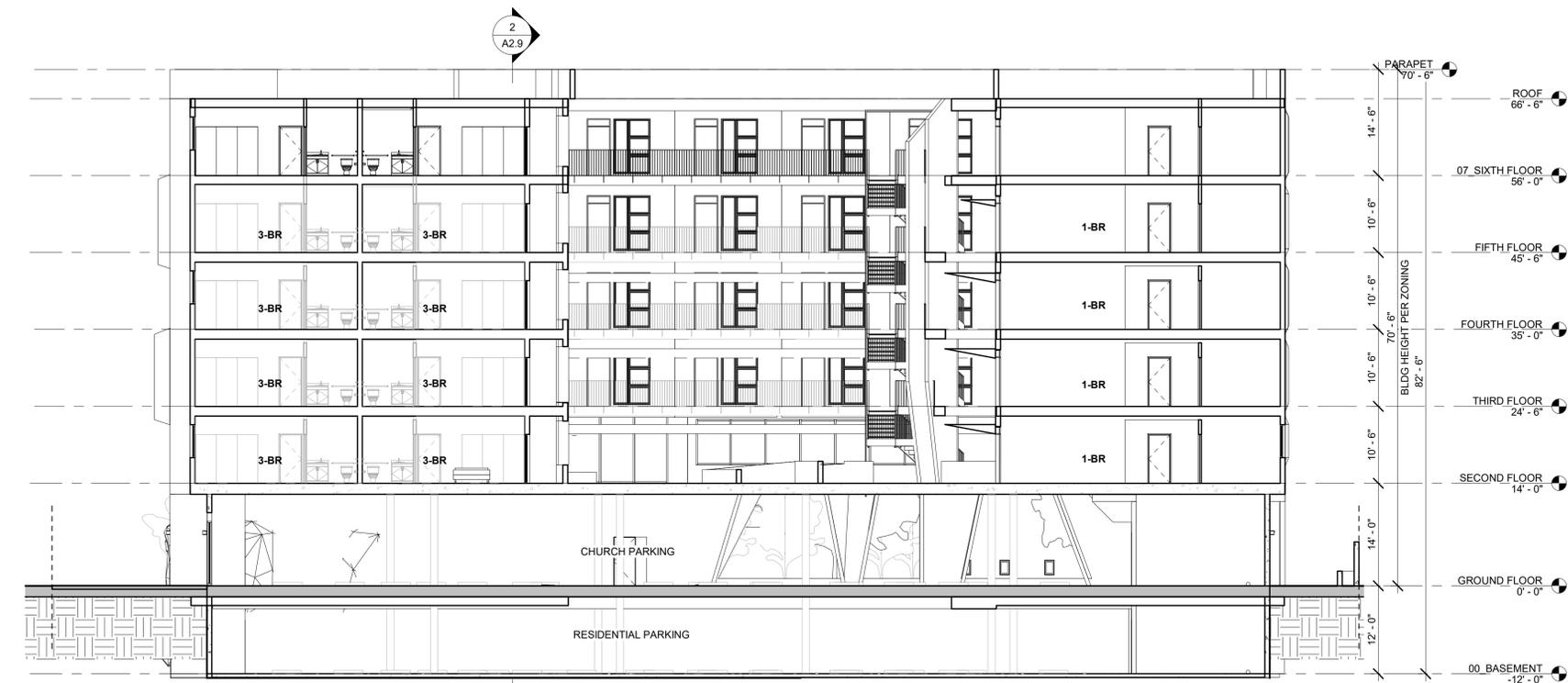
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**CONSTRUCTION NOTES:**



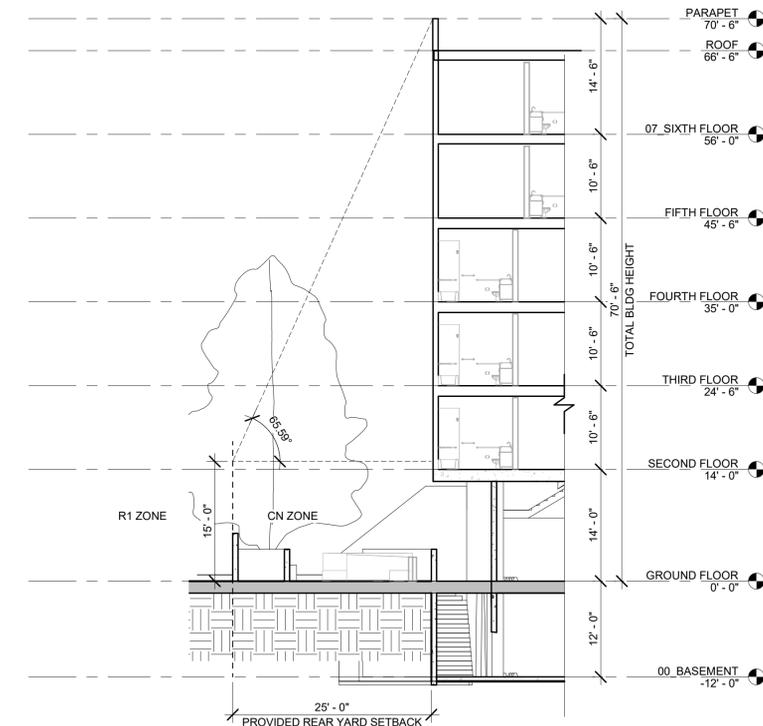
**2 SECTION THROUGH CHURCH AND HOUSING**

3/32" = 1'-0"



**1 SECTION THROUGH HOUSING**

3/32" = 1'-0"



**3 EXHIBIT A**

3/32" = 1'-0"

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DRAWING TITLE:  
**SECTIONS**

PROJECT NUMBER: 2013

NO.	DESCRIPTION	DATE

**ENTITLEMENT SET**

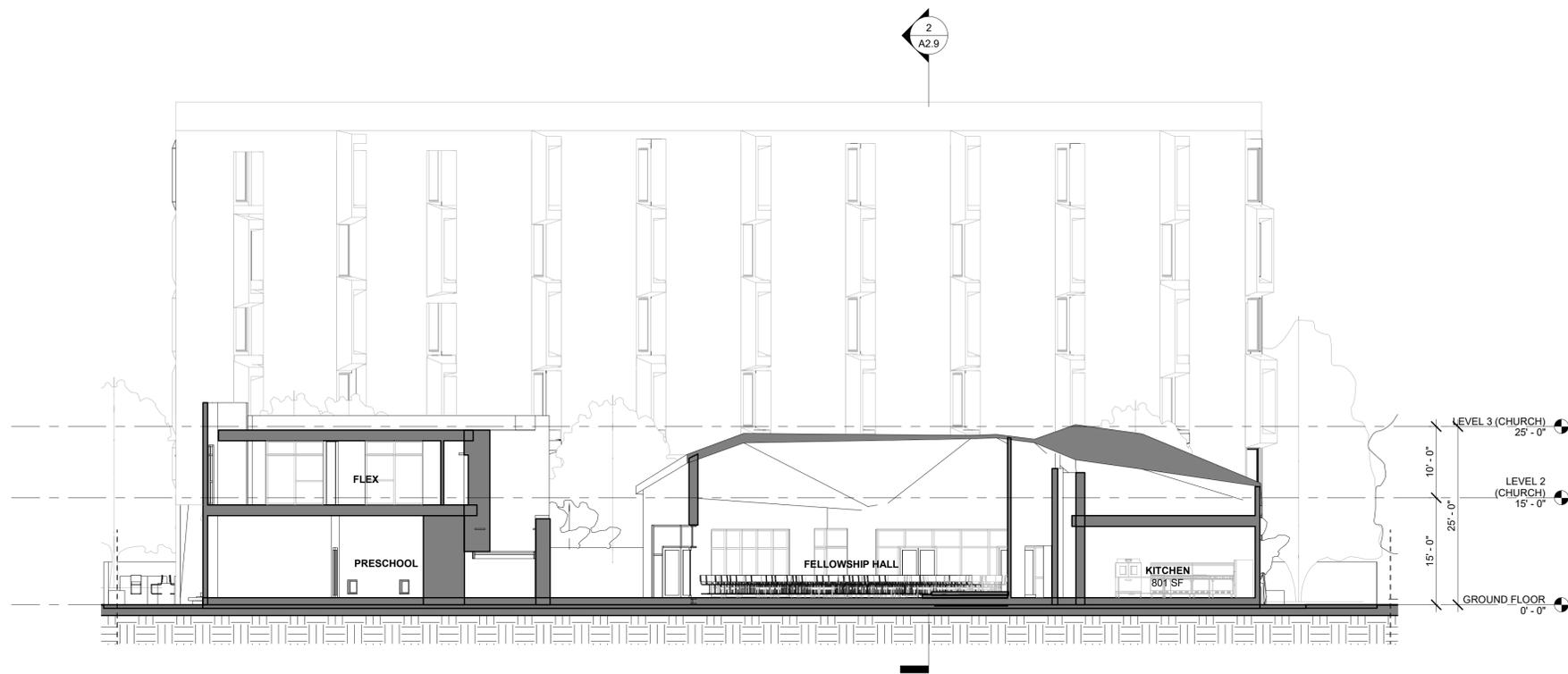
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**A11**

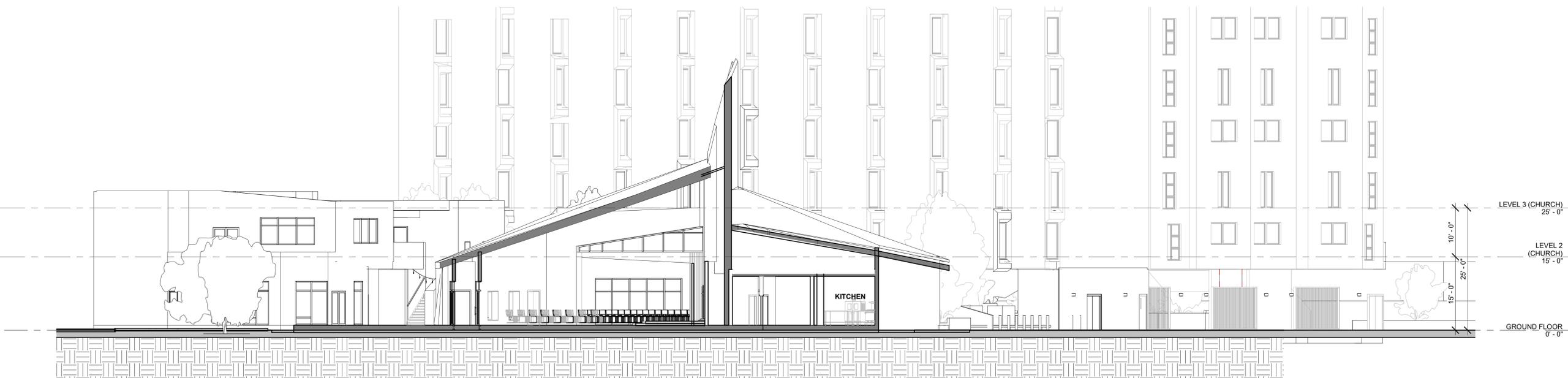
Scale: 3/32" = 1'-0"

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**CONSTRUCTION NOTES:**



① SECTION THROUGH MULTI PURPOSE HALL  
3/32" = 1'-0"



② SECTION THROUGH SANCTUARY  
3/32" = 1'-0"

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DRAWING TITLE:  
SECTIONS

PROJECT NUMBER 2013

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A12

Scale 3/32" = 1'-0"

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**CONSTRUCTION NOTES:**



② PERSPECTIVE 4 - SEPULVEDA BLVD



① PERSPECTIVE 3 - SEPULVEDA BLVD

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DRAWING TITLE:  
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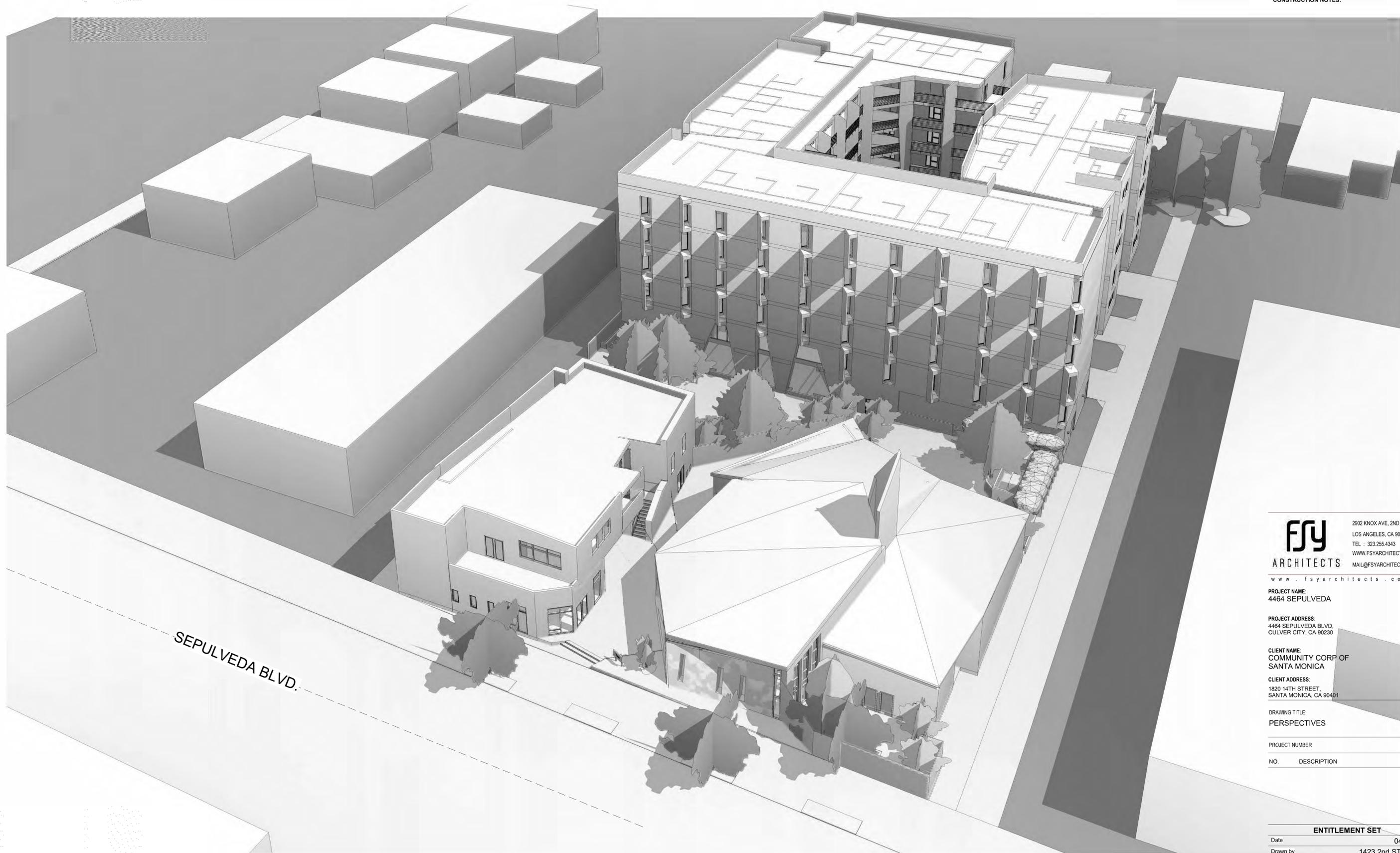
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**A13**

Scale

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**CONSTRUCTION NOTES:**



SEPULVEDA BLVD.

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**A14**

Scale

① PERSPECTIVE - BIRDSEYE VIEW 1

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① PERSPECTIVE - BIRDSEYE VIEW 2

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DRAWING TITLE:  
EXTERIOR VIEWS

PROJECT NUMBER 2013

NO.	DESCRIPTION	DATE
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**ENTITLEMENT SET**

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**A16**

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EXTERIOR VIEWS

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**A17**

Scale

