

City of Culver City

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# Citywide Residential and Mixed Use Objective Design Standards

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June 2025

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# 1 Introduction

## 1.1 Purpose

Since 2017, the California legislature has adopted and amended several housing and land use laws to address the state's housing crisis. Senate Bill (SB) 35, SB 167, SB 330, and SB 8, are aimed at streamlining land use entitlements for housing development projects as defined in §65589.5 (h)(2).

SB 35 (2017) streamlines housing development approvals on infill sites that comply with "objective standards", meet minimum affordability requirements, are not environmentally sensitive, and if the developer pays prevailing wage and uses a "skilled and trained workforce" for projects over a certain threshold.

SB 167 (2017) prohibits a local agency from disapproving or conditioning approval in a manner that renders infeasible, a housing development project for very low, low-, or moderate- income households or an emergency shelter unless the local agency makes specific written findings based upon substantial evidence in the record.

SB 330 (2019) establishes a preliminary application process that allows developers to lock in city ordinances, policies, and development fees prior to filing a complete application and requires that project applications are subject to no more than five public hearings if the applicable objective standards are met.

SB 8 (2021) builds upon SB 330 by expanding the definition of a "housing development project" to include single family dwelling units.

The legislation discussed above is intended to streamline the housing development approval processes in California. State law requires cities to approve eligible housing proposals through ministerial processes based on objective standards that "involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and the public official prior to submittal." The Citywide Residential and Mixed Use Objective Design Standards (ODS) provide clear expectations on the design of new residential development within the city, outlining objective design standards that allow for predictable development outcomes.

The purpose of the ODS is to give the community, developers, staff and decision makers more certainty about what future residential and mixed use development will look like as the City moves forward with streamlined processes to meet the State's goals in addressing the housing crisis and the objectives of the City's Housing Element.

## 1.2 Applicability

The ODS are minimum design requirements applicable to all new residential and mixed use development projects, as defined herein, including projects involving more than 50% demolition, more than 50% addition with at least 1,500 square feet additional floor area, and except within a specific plan or planned development.

The standards contained in this document supersede and replace the City's Neighborhood Design Guidelines in their entirety and apply to site and building design only. Development standards such as density, building setbacks<sup>1</sup>, height limits, and off-street parking

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<sup>1</sup> Building setbacks, measured from the face or plane of the building and as defined in Section 1.3 are included in the Objective Design Standards.

requirements are contained in the Culver City Zoning Code, Title 17 of the Culver City Municipal Code (CCMC). Applicable projects shall comply with both these ODS and the Zoning Code. In case of a conflict between these ODS and the Zoning Code, the more restrictive regulation shall apply.

Proposed buildings containing four or more attached units, with or without a commercial component, shall comply with the standards of Section 2 of this document. Proposed buildings containing up to three attached units shall comply with the standards of Section 3 of this document. Where proposed developments include both three or less and four or more unit buildings on the same parcel, applicants may choose which standards will apply to the proposed project. For example, if a project includes the development of a duplex and a four-unit building, both buildings shall comply with the chosen standards.

If a residential development project or a residential mixed use development project complies with all applicable requirements of Title 17 of the CCMC, the policies of the General Plan and any applicable Specific Plans, and these ODS, then the City shall approve the project within timeframes specified by CCMC and State Law.

The approval authority may allow certain deviations from the ODS on a case-by-case basis, provided the requested deviations meet the intent of the Citywide Residential and Mixed Use Objective Design Standards.

### 1.3 Definitions

**Architectural Feature.** Soffit, column, wing wall, canopy, roof eave, balcony, bell tower, spires, clock tower, cupolas, turrets, and any other similar element that does not create an interior floor space.

**Architectural Style.** A set of characteristics and features that make a building or other structure notable or historically identifiable. Descriptions and standards related to specific architectural styles are included in Section 4 of this document.

**Balcony.** An accessible platform structure that projects from a building facade or wall without ground mounted structures or supports and is surrounded by a railing or parapet.

**Blank Wall.** Any wall that is not enhanced by architectural detailing such as artwork, landscaping, windows, doors, balconies, siding, trellis, metal accent panels, or similar features. Solid and mechanical doors and glass with less than 80% transparency are considered blank wall areas.

**Carport.** A roofed structure over a driveway, the purpose of which is to shelter a vehicle.

**Complementary Architectural Style.** Two structures are considered to be complementary in architectural style if they have the same roof form, and 75% of materials and colors are the same (i.e., uses 3 of the 4 same materials and/or colors).

**Courtyard.** An open space, usually enclosed by buildings or walls, which is primarily intended for outdoor use within a building or development.

**Façade Plane.** Any stretch of a building façade existing along the same axis line, regardless of pattern differentiation or change in rhythm.

**Foot-candle.** A unit of illuminance or light intensity. The foot-candle is defined as one lumen per square foot.

**Grade.** The ground surface immediately adjacent to the exterior base of a structure, typically used as the basis for measurement of the height of the structure.

**Header.** A structural element, typically a beam or lintel, placed horizontally above an opening such as a door or window.

**Live/work Unit.** An integrated housing unit and working space occupied and utilized by a single household, in a structure that has been designed or structurally modified to accommodate joint residential occupancy and work activity.

**Massing.** The overall size, shape, and arrangement of a building or group of buildings.

**Ministerial.** A decision requiring the application of the statutes, ordinances, and/or regulations to the facts as prescribed and involving little or no personal judgment by the public official or decision-making body as to the wisdom or manner of carrying out a project. A ministerial decision involves only the use of fixed standards or objective measurements, and the public official cannot use personal, subjective judgment in deciding whether or how the project should be carried out.

**Mixed Use Project.** Any development that contains a combination of residential and non-residential uses within one building, or an integrated group of buildings on one development site.

**Multi-family Dwelling.** A building or a portion of a building containing four or more separate residential dwelling units.

**Open Space, Public.** A publicly accessible park, square, plaza, or similar space. Does not include common open spaces shared exclusively by residents of a single development.

**Ornamental Feature.** A sculpture, fountain, relief, or any other decorative element that does not provide shelter, is non-structural, and is not a sign, and which serves to enhance visual interest.

**Parkway.** Land area between street curb and sidewalk.

**Paseo.** A pedestrian pathway or walkway extending from the street into the interior of a block. Paseos may be publicly accessible or limited to private use.

**Sill.** The horizontal bottom portion of a window or door frame.

**Single-Family Dwelling.** A building designed for and/or occupied exclusively by one family. Also includes factory-built, modular housing units, constructed in compliance with the Uniform Building Code (UBC), and mobile homes/manufactured housing on permanent foundations.

**Specific Plan.** A policy and regulatory document that implements the broader goals of the City's General Plan for a particular area in accordance with Sections 65450 - 65457 of the California Government Code. A Specific Plan includes detailed development standards, infrastructure requirements, and implementation measures that future projects within said area must adhere to.

**Stepback.** Vertical or horizontal recess or setback of a building's upper floors from the lower floors.

**Stoop.** A small staircase ending in a platform leading to the entrance of an apartment building or rowhouse.

**Street Wall.** The wall of a building facing the street or near the street-abutting property line. The street wall may include arcades, colonnades, recessed pedestrian entrances, decorative stairs, public art, and other features deemed pedestrian-oriented.

**Terrace.** An elevated outdoor space that is attached to a building, provided either by a purpose-built platform on the ground level or by the parapet roof of the story below.

**Wrap Configuration.** A building design where a portion of the building wraps around an interior parking or other structure thereby screening the interior structure from public view.

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## 2 Multi-Family Residential and Mixed Use (Four or More Unit Buildings)

### 2.1 Building Location and Orientation

1. **Setbacks.** Setbacks shall be provided in accordance with the underlying zoning district and the regulations provided in CCMC Section 17.300.020 Setback Regulations and Exceptions.
2. **Building Orientation.** The front of the building shall be oriented to face the front property line, as defined in the zoning code.
3. **Pedestrian entrances.** Primary pedestrian entrances for each residential unit (or the single primary pedestrian entrance if shared) shall face the public street, a shared pedestrian paseo, or a common courtyard. On a corner lot, the primary pedestrian entrance of all units, except the front unit, shall be oriented towards the side street. Primary pedestrian entries for individual units fronting interior side property lines shall be provided a five-foot by five-foot alcove or oriented to not face doors and windows on adjacent properties.
4. **Creation of outdoor spaces.** Multi-family residential buildings shall be arranged to create outdoor spaces such as courtyards, pathways, paseos, and recreational areas, with windows facing the outdoor spaces.



Multi-family buildings arranged to create outdoor spaces.

## 2.2 Neighborhood Compatibility and Privacy

1. **Upper Story Stepbacks.** Proposed developments shall comply with all applicable requirements of CCMC Chapter 17.210.020 and 17.220.020, to maintain privacy and compatibility with the surrounding neighborhood.
2. **Window Alignment.** When building separation is less than 20 feet at the time of application submittal, no more than 20% of window or balcony area of the new development may align directly with existing neighboring windows or balconies without screening obstructing views into at least 80% of the area of the window. Visual screening may be accomplished through the use of landscaping that can be shown to grow to the height of the top of the windows, walls, accessory buildings, or other solid structures. Translucent windows and clerestory windows are exempt from this requirement.

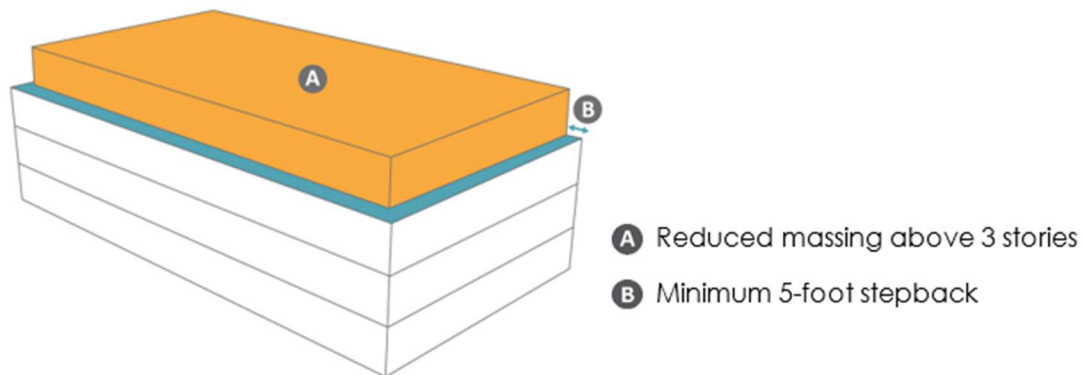
## 2.3 Parking and Access

3. **Parking and Loading Standards.** Parking and loading areas for multi-family residential projects shall be designed in accordance with CCMC Chapter 17.320 Off-Street Parking and Loading.

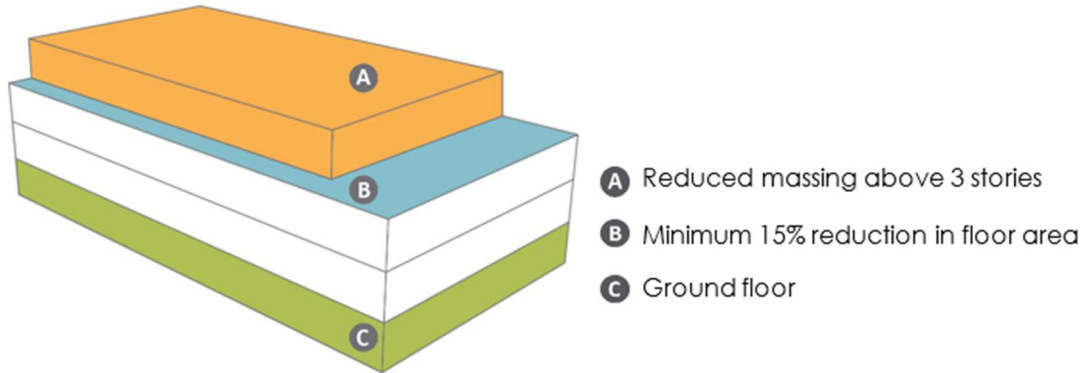
## 2.4 Building Design and Architecture

### 2.4.1 Building Mass and Scale

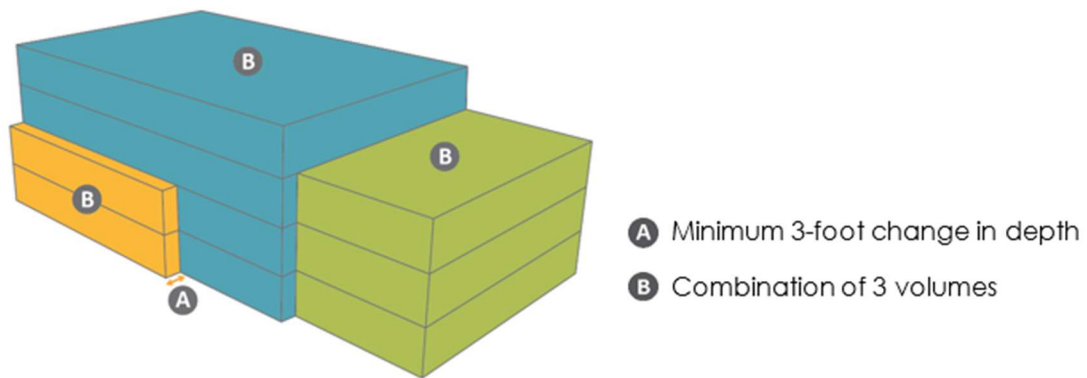
4. **Scale and Height.** Reduce the perceived height and bulk of buildings greater than three stories by dividing the building mass into smaller-scale components on facades facing the public right of way, public open space, or other publicly accessible areas. Perceived height and bulk shall be reduced using one or more of the following techniques:
  - a. Stepping back the entire uppermost floor on all elevations facing the public right of way, public open space, or other publicly accessible areas by at least five feet.



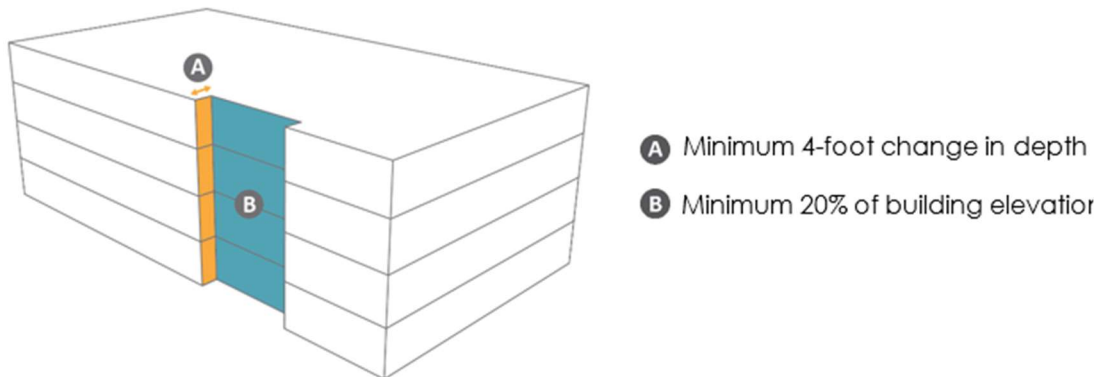
- b. Reducing the floor area of the uppermost floor by at least 15% compared to the ground floor. Roof space created by the reduced floor area must extend to the building edge on all elevations facing the public right of way, public open space, or other publicly accessible areas.



- c. Incorporating a combination of a minimum of three volumes with varying heights as applicable to the building type. A volume is defined as a distinct portion of a building form (with a minimum width of 10 feet and a minimum depth of three feet) with a given number of occupiable stories. For example, a four-story building can have a two-story building form, a three-story building form, and a four-story building form, with each form set back at least three feet.



- d. Setting back a minimum of 20% of the elevation at least four feet from the rest of the façade. Set back portions of the façade must be at least three stories tall and extend to the top of the building and located on elevations facing the public right of way, public open space, or other publicly accessible areas.



5. **Massing Breaks of Large Buildings.** In no case shall a building plane extend for more than 100 feet without a massing break of a minimum of two feet in depth and six feet in width.
6. **Taller Building Articulation.** Buildings with four or more stories above grade shall be designed to differentiate a defined base or ground floor, a middle or body, and a top, cornice, or parapet cap. This standard applies to all facades facing the public right of way or neighboring buildings. All buildings shall achieve this effect through at least two of the following:
  - a. Color, texture, or material changes.
  - b. Variations, projections, or reveals in the wall plane.
  - c. Variations in fenestration size or pattern.
7. **Roofline Variation.** Rooflines along elevations facing a public street shall be articulated using at least one of the following techniques.
  - d. A change in parapet wall or roof height of at least one foot for a distance of at least 30 feet.
  - e. A change in roof pitch, form, or direction.
  - f. Inclusion of dormers, gables, parapets, chimneys, and/or varying cornices.

#### **2.4.2 Building Façade and Architectural Features**

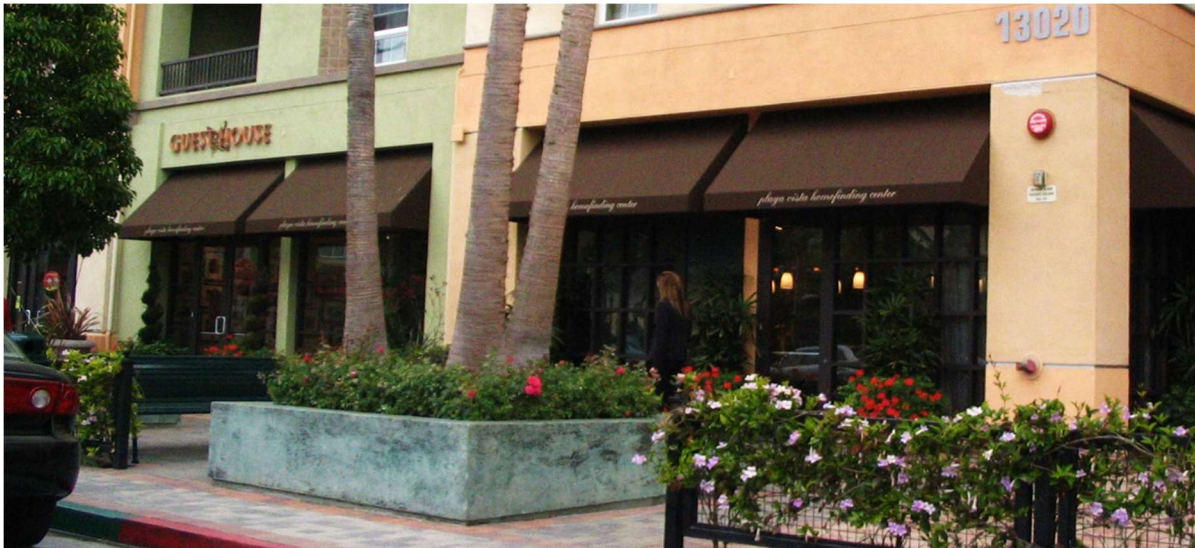
8. **Commercial Corridor Frontage Types.** Any project proposed on a site fronting Sepulveda Boulevard or Washington Boulevard, or in a mixed use zone with frontage on Culver Boulevard or Overland Avenue shall incorporate one of the following frontage types, along said street, to maintain a commercial appearance from the street:
  - g. **Storefront.** Storefront frontage type shall incorporate windows, doors, or other openings for a minimum of 65% of the street facing exterior walls on the ground floor. The percentage shall be calculated based on the length of the facade frontage and the floor-to-ceiling height of the ground floor. Projects without a commercial component utilizing this frontage type may locate leasing offices, workspaces, community rooms, and other building amenities on the ground floor frontage to maintain privacy for residential units.
  - h. **Stoop.** The stoop frontage type shall utilize elevated stoops at least two feet but no more than 6 feet in height measuring at least three feet in depth and four feet in width. Each stoop shall access a maximum of two residential units. The steps of the stoop may be parallel or perpendicular to the building façade. Entry door shall face the street.





Above: Stoop frontages create an active and welcoming streetscape.

Below: Commercial storefront frontage.



9. **Rear and Side Elevation Enhancements.** Rear and side elevations that are exposed to public view shall be treated with the same number of architectural treatments appropriate to the chosen architectural style as the front elevations.
10. **Consistency with Architectural Style.** Façade details shall reflect the building's architectural style and be carried through the entire structure and any accessory structures. Additions or alterations to an existing structure, materials, and finishes (including windows and doors) shall be consistent with the chosen architectural style of the project.
11. **Architectural Style of Multiple Structures on One Lot.** Structures on the same lot shall be of complementary architectural style. Projects including adaptive reuse of existing buildings or structures which are not visible from the street are exempt from this requirement.
12. **Blank Walls.** Untreated blank walls over 15 feet in height and 20 feet in length visible from a public street or a pedestrian-oriented space (such as a park, plaza, common open space, or pedestrian pathway) are prohibited.

13. **Zero Interior Lot Line Situations.** In zero interior lot line situations, where the proposed building is built within five feet of an interior side or rear property line and new buildings may be built on the lot lines with no setback and partially block the subject building, building elevations along these lot lines shall be designed to include architectural details such as texture, scoring, or artwork.
14. **Balcony Depth.** Balconies, where provided, shall have a minimum depth of three feet and minimum of four feet in width. Juliet or similar decorative balconies shall not be subject to these requirements but shall be at least as wide as the combined width of the window and window trim.
15. **Entries.** Exterior building entry doors and entryways shall be protected with at least one of the following features: overhangs, recesses, porches, trellises, or other weather-protection features covering an area at least three feet in depth and five feet in width.
16. **Fenestration.**
  - i. Windows and doors facing a public street, or a pedestrian-oriented space shall be trimmed, recessed or inset, grouped, and/or incorporate enhancement details such as headers/sills, shutters, trellises, awnings, or Juliet balconies consistent with the chosen architectural style of the project.
    - i. When trimmed, the trim material shall be a minimum of three inches in width by three-quarters (3/4) of an inch in depth when protruding from the wall.
    - ii. When recessed or inset, the minimum depth shall be two inches from the adjacent wall surface.
    - iii. Elevations with contemporary or modern design may have trims less than three inches wide, windows without trims or flush with the adjacent surface, provided more than one size of window and enhancement details are incorporated into the elevation.
  - j. On publicly visible elevations, a minimum of 10% of windows shall vary in size by a minimum of 25%. To meet this requirement, at least one window on the elevation must be at least 25% larger or smaller than the window that occurs most frequently on any elevation. For purposes of this requirement, sliding glass doors are not considered "windows."
  - k. Transparent glazing is required for all publicly visible windows. Windows shall be a maximum of 15% reflective, have visible light transmittance greater than 80%, and without tint or coloration in the glass substrate. Bathroom windows shall not be included in this calculation.

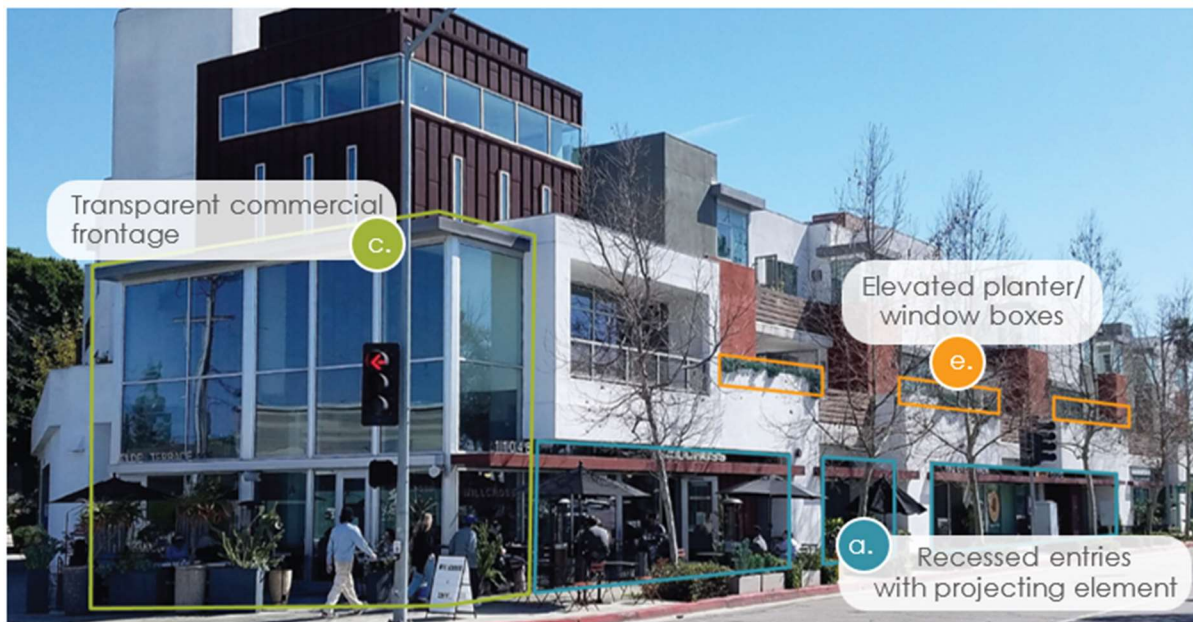
## Fenestration





17. **Street-level Frontage Articulation.** The street frontage of mixed use projects shall include a minimum of two of the architectural features or pedestrian amenities listed below. Projects proposed on a site fronting Sepulveda Boulevard or Washington Boulevard, or in a mixed use zone with frontage on Culver Boulevard or Overland Avenue shall incorporate a minimum of three of the amenities listed below:
- l. Recessed entries or entries with an awning or projecting element. The recess and projection shall have a minimum combined depth of five feet (e.g., a three-foot recess and a two-foot projection/awning) and a minimum width of six feet.
  - m. A pedestrian arcade or colonnade measuring a minimum of five feet in width.
  - n. Stoop or commercial storefront style frontage.
  - o. Landscaped strips a minimum of three feet in depth along a minimum of 50% of the length of the street-facing façade.
  - p. Raised planters, window boxes, pergolas, or trellises complimentary to the architectural style of the project along at least 25% of the length of the street-facing façade.
  - q. Other pedestrian-oriented enhancements considered suitable by the Planning and Development Director.
18. Street level architectural elements and ornamental features shall not impede pedestrian routes.

### Street-level Frontage Articulation



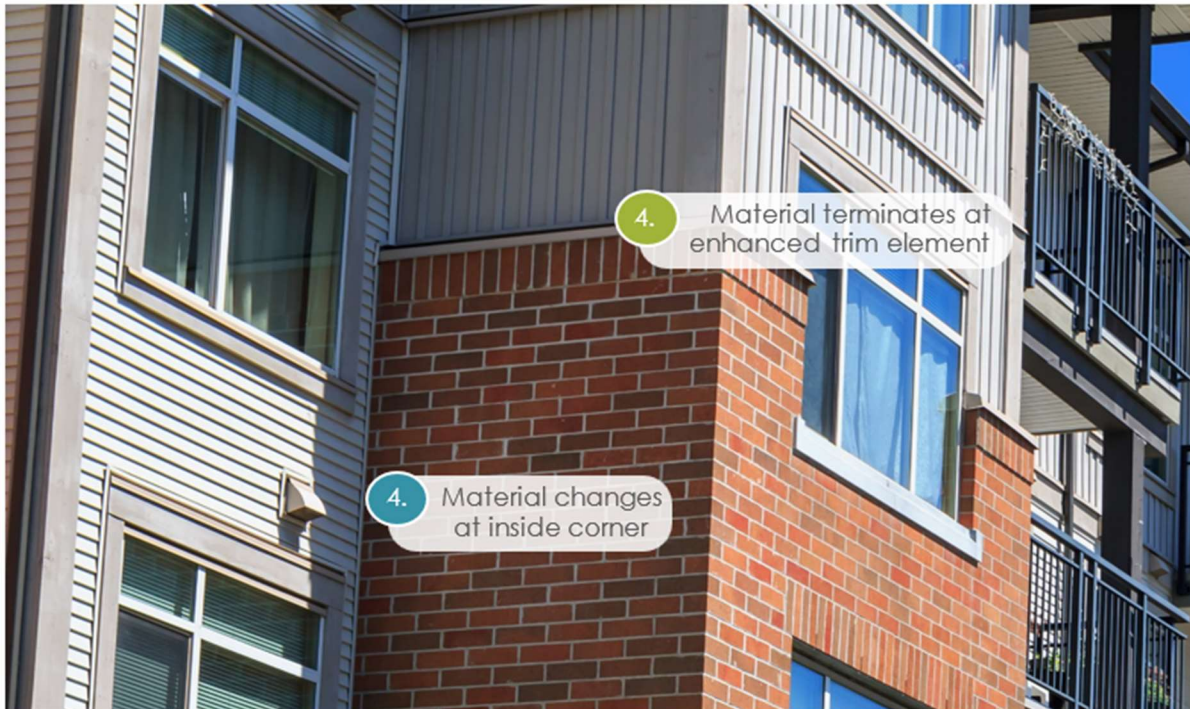
### 2.4.3 Building Materials and Colors

19. **Number of Materials or Colors.** Buildings shall incorporate a maximum of two main body colors, three accent colors, and three different materials, excluding windows, doors, trim and public art, murals, or signs. Street-facing exterior elevations shall include at least two colors and at least two different materials, (in addition to glazing, window trim, doors, railings, public art, murals, or signs) that can accentuate building masses. The main body color is the predominant color used on the face(s) of the building.



20. **Treatment of Accessory Structures.** Accessory structures such as garages, carports, and enclosures for mechanical, utility and service areas shall include no more than three deviations in material or color from the primary structure. Accessory structures not visible from the street or neighboring properties may deviate from this standard.
21. **Glare.** Reflective surfaces and materials such as mirrored glass and polished aluminum are prohibited.
22. **Color and Material Changes.** Material and color changes shall occur at an inside corner, underside of a massing element, or wrapped to an appropriate termination point such as a roof break, half-column, bay window, or enhanced trim element.

### **Color and Material Changes**



## **2.5 Open Space, Landscaping, and Lighting**

23. **Required Open Space.** Required open space for proposed multi-family residential projects shall be provided and designed in accordance with CCMC Section 17.210.030 Supplemental Standards for Multiple-Family Residential and/or 17.220.030 Supplemental Standards for Mixed Use Development, as applicable.
24. **Landscaping Standards.** All project sites shall be landscaped in accordance with CCMC Chapter 17.310 Landscaping.
25. **Fences, Hedges, and Walls.** Fences, hedges, and walls shall be designed in accordance with CCMC Section 17.300.030.
26. **Landscape Elements.** To achieve a cohesive appearance and compatibility of a new project with its surroundings, proposed projects shall include at least three (3) of the following landscape elements in the landscape plan:
  - a. Pedestrian-scaled lighting
  - b. Fountains
  - c. Decorative paving

- d. Landmark tree (48-inch box minimum)
  - e. Seating opportunities, such as raised planters and walls.
27. **Variety of Plant Materials.** Landscaping shall contain a combination of low (3 – 24 inches), medium (2 – 5 feet) and tall (5 + feet) plant materials. For example, low planting may be used in the foreground, proceeding back to the tallest in the background.
28. **Planting Adjacent to Garage Doors.** In townhouse or rowhouse type projects, trees and/or planting of at least six (6) square feet shall be provided adjacent to garage doors facing alleys and motor court drives to soften the appearance of the building.

#### Planting Adjacent to Garage Doors



29. **Fence and Wall Materials.** Fence and wall materials, colors and detailing shall match the architectural style of buildings on the site. Permanent chain link fencing is not permitted.
30. **Front Yard Walls.** Freestanding solid front yard walls of at least 30 inches in height, if included, shall be setback at least two feet from the sidewalk and incorporate low plantings or vines placed between the sidewalk and the fence or wall to soften the appearance of the wall and preserve the public parkway environment.
31. **Common Open Space Enclosure.** At least 50% of common open space as defined by Section 17.700.010, where provided, shall be open to the sky and not include patio covers, building projections, and similar enclosures that block sunlight and air.
32. **Outdoor Lighting.**
- a. Outdoor lighting shall be installed and maintained along all vehicular access ways and major walkways, in compliance with CCMC Section 17.300.040.
  - b. Lighting shall be directed onto the driveways and walkways within the development and away from adjacent properties.
  - c. Lighting of at least one foot-candle (fc) shall be installed and maintained within all covered and enclosed parking areas and shall be screened to reduce glare onto

public sidewalks and adjacent properties. Lighting levels shall not be increased by more than one fc onto the public right-of-way and not more than 0.5 fc onto adjacent properties.

- d. Outdoor bicycle racks and lockers shall be lit and have a minimum of one fc.
- e. Landscape and pedestrian walkway lighting mounted to building walls or freestanding poles shall not be placed higher than ten feet above grade or the walkway surface. These lights shall be shielded and set back from the property line a minimum distance equal to the height of the light fixture to confine lighted area to within the property line.
- f. Lighting fixtures shall be of the same architectural style, materials, and color of the structure.

## **2.6 Utility and Service Areas**

33. **Screening.** Mechanical and utility equipment shall be screened in accordance with CCMC Section 17.300.035.

34. **Refuse and Recycling Storage.**

- a. Refuse and recycling material containers shared by multiple dwelling units shall be enclosed and screened in accordance with CCMC Section 17.300.035. Sizing of the enclosures shall conform to the requirements of the Environmental Programs and Operations (EPO) Division of the Culver City Public Works Department.
- b. Refuse enclosures shall incorporate roof structures to help improve stormwater quality and to screen the enclosure from views from above.
- c. Refuse enclosures shall be finished using materials and colors that are consistent with the chosen architectural style. Enclosure gates shall be opaque.
- d. Refuse and recycling material containers stored within individual yards shall be screened from street view.

## **2.7 Mixed Use Design Standards**

In addition to the standards above, the following standards shall apply to all mixed use projects.

- 1. Mixed use projects shall be designed in accordance with the requirements of CCMC Section 17.200.030, *Supplemental Standards for Mixed Use Development*.
- 2. Live / Work units shall be designed in accordance with the requirements of CCMC Section 17.400.060, *Live/Work Development Standards*.
- 3. Signage associated with the commercial component of mixed use projects shall be provided in accordance with CCMC Chapter 17.330, *Signs*.
- 4. Ground Floor Transparency. Buildings with commercial occupancy on the ground floor shall incorporate windows, doors, or other openings for a minimum of 65% of the street facing exterior walls on the ground floor. The percentage shall be calculated based on the length of the facade frontage and the floor-to-ceiling height of the ground floor.



## Ground Floor Transparency



### 3 Residential Objective Design Standards for One- to Three-unit Buildings

#### 3.1 Building Location and Orientation

1. **Setbacks.** Setbacks shall be provided in accordance with the underlying zoning district and the regulations provided in CCMC Section 17.300.020 Setback Regulations and Exceptions.
2. **Building Orientation.** The front of the building shall be oriented to face the front property line, as defined in the zoning code.
3. **Pedestrian entrances.**
  - a. Primary pedestrian entrances for each residential unit (or the single primary pedestrian entrance if shared) shall face the public street, a shared pedestrian paseo, or a common courtyard. On a corner lot, the primary pedestrian entrance of all units, except the front unit, shall be oriented towards the side street. Primary pedestrian entrances for individual units shall face the public street, a shared pedestrian paseo, or a common courtyard. Primary pedestrian entries for individual units fronting interior side property lines shall be provided a five-foot by five-foot alcove or oriented to not face doors and windows on adjacent properties.
  - b. The walkway to the entrance shall have a minimum width of 36 inches.
4. **Creation of outdoor spaces.** Residential buildings shall be arranged to create outdoor spaces such as courtyards, pathways, paseos, and recreational areas, with windows facing the outdoor spaces. This requirement may be satisfied with the provision of minimum required open space, setbacks, and building separation as required by the Zoning Code.



Residential buildings arranged to create outdoor spaces.

## 3.2 Neighborhood Compatibility and Privacy

1. **Upper-Floor Transitions.** To reduce the scale of the upper floors, the uppermost floor of the building shall have a maximum floor area that is no more than 90% of the floor area of the first story.
  - a. First floor calculation shall include all interior areas measured from exterior wall finish to exterior wall finish, including interior staircases, and attached garages.
  - b. The floor area of upper stories shall include all interior areas measured from exterior wall finish to exterior wall finish; including all staircases; porches, decks, and balconies that are covered by a roof structure; and all cantilevered structures that extend beyond the first-floor footprint that do not extend to the ground, including but not limited to living area, roof decks, bay windows, chimneys, and staircases.
2. **Window Alignment.** When building separation is less than 20 feet at the time of application submittal, no more than 20% of window or balcony area of the new development may align directly with existing neighboring windows or balconies without screening obstructing views into at least 80% of the area of the window. Visual screening may be accomplished through the use of landscaping that can be shown to grow to the height of the top of the windows, walls, accessory buildings, or other solid structures. Translucent windows and clerestory windows are exempt from this requirement.

## 3.3 Parking and Access

1. **Parking Standards.** Parking areas for residential projects shall be designed in accordance with CCMC Chapter 17.320 Off-Street Parking and Loading.
2. **Driveways.** On an interior lot, only one driveway shall be allowed.

## 3.4 Building Design and Architecture

### 3.4.1 Building Façade and Architectural Features

1. **Massing.** The purpose of building massing is to ensure that the shape of the building respects the scale of the neighborhood and avoids a bulky appearance. Each publicly visible elevation shall meet one of the following criteria:
  - a. Incorporate a change in wall plane with a minimum four-foot depth. The change in wall plane shall extend for at least 10 feet.
  - b. Provide a recessed entry of at least three feet in depth.
  - c. Provide a protruding window (such as a bay window) of at least two feet in depth.
2. **Rear and Side Elevation Enhancements.** Rear and side elevations that are exposed to public view shall include the same amount of architectural treatments as the front elevations.
3. **Consistency with Architectural Style.** Façade details shall reflect the building's architectural style and be carried through the entire structure and any accessory structures. Additions or alterations to an existing structure, materials, and finishes (including windows and doors) shall be consistent with the chosen architectural style of the project.
4. **Architectural Style of Multiple Structures on One Lot.** Structures on the same lot shall be of complementary architectural style. Projects including adaptive reuse of existing buildings or structures which are not visible from the street are exempt from this requirement.

5. **Blank Walls.** Untreated blank walls (e.g. no windows, breaks, etc.) over 15 feet in height and 20 feet in length visible from a public street or a pedestrian-oriented space (such as a park, plaza, common open space, or pedestrian pathway) are prohibited.
6. **Balcony Depth.** Balconies, where provided, shall have a minimum depth of three feet and minimum of four feet in width. Juliet or similar decorative balconies shall not be subject to these requirements but shall be at least as wide as the combined width of the window and window trim. Balcony encroachments into setbacks must be consistent with the zoning code.
7. **Entries.** All primary entries shall incorporate at least four of the following elements:
  - a. A porch with a minimum depth of at least four feet.
  - b. A recessed entry of at least three feet in depth.
  - c. A doorway that is recessed at least three inches from the building façade.
  - d. A roof element projecting at least thirty inches from the wall plane above the entry.
  - e. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
  - f. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
  - g. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.
8. **Fenestration.**
  - a. Windows and doors facing a public street, or a pedestrian-oriented space shall be trimmed, recessed or inset, grouped, and/or incorporate enhancement details such as headers/sills, shutters, trellises, awnings, or Juliet balconies consistent with the chosen architectural style of the project.
    - i. When trimmed, the trim material shall be a minimum of two inches in width by three-quarters (3/4) of an inch in depth when protruding from the wall.
    - ii. When recessed or inset, the minimum depth shall be two inches from the adjacent wall surface.
    - iii. Elevations with contemporary or modern design may have trims less than two inches wide, windows without trims or flush with the adjacent surface, provided more than one size of window and enhancement details are incorporated into the elevation.
  - b. On the front and other publicly visible elevations, at least one of the following shall be provided:
    - i. Picture window. At least one window on the elevation must be at least 25% larger than the window that occurs most frequently on the elevation. For purposes of this requirement, sliding glass doors are not considered "windows."
    - ii. Bay window
    - iii. Deep recessed window (recessed a minimum of three inches).

### 3.4.2 Roofs

1. **Architectural Style Consistency.** Roof styles shall be consistent with the specific building architectural style used.
2. **Variation in Roofline.** Changing roof heights, roof slope angles, and dormers shall be used to create variation in the roofline.



3. **Prohibited materials.** Corrugated metal, galvanized metal, or similar sheets and panels are prohibited roof material.

### 3.4.3 *Building Materials and Colors*

1. **Number of Materials or Colors.** Buildings shall incorporate a maximum of two main body colors, three accent colors, and three different materials, excluding windows, doors, or trim. Street-facing exterior elevations shall include at least two colors and at least two different materials (in addition to glazing, window trim, doors, or railings). The main body color is the predominant color used on the face(s) of the building.
2. **Treatment of Accessory Structures.** Accessory structures such as garages, carports, and sheds shall include no more than three deviations in material or color from the primary structure. Accessory structures not visible from the street or neighboring properties, and accessory residential structures exempt from zoning code setback standards, may deviate from this standard.
3. **Glare.** Reflective surfaces and materials such as mirrored glass and polished aluminum are prohibited.
4. **Prohibited Materials.** Prohibited materials include unfinished / unpainted metal siding and plywood.
5. **Color and Material Changes.** Material and color changes shall occur at an inside corner, underside of a massing element, or wrapped to an appropriate termination point such as a roof break, half-column, bay window, or enhanced trim element.

## 3.5 *Open Space, Landscaping, and Lighting*

1. **Landscaping Standards.** All project sites shall be landscaped in accordance with CCMC Chapter 17.310 Landscaping
2. **Fences, Hedges, and Walls.** Fences, hedges, and walls shall be designed in accordance with CCMC Section 17.300.030.
3. **Fence and Wall Materials.** Permanent chain link, vinyl, or barbed-wire fencing is not permitted.
4. **Front Yard Walls.** Free-standing solid front yard walls of at least 30 inches in height, if included, shall be setback at least two feet from the sidewalk and incorporate low plantings or vines placed between the sidewalk and the fence or wall to soften the appearance of the wall and preserve the public parkway environment.
5. **Outdoor Lighting.**
  - a. Lighting shall be directed onto the driveways and walkways within the lot and away from adjacent properties or windows, and the public right-of-way in compliance with CCMC Section 17.300.040.
  - b. Landscape and pedestrian walkway lighting on freestanding poles shall not be placed higher than 10 feet above grade of the walkway surface.
  - c. Lighting fixtures shall be of the same architectural style, materials, and color of the structure.



### **3.6 Utility and Service Areas**

1. **Screening.** Mechanical and utility equipment shall be screened in accordance with CCMC Section 17.300.035.
2. **Refuse and Recycling Storage.**
  - a. Refuse and recycling material containers, if used by more than one dwelling unit shall be enclosed and screened in accordance with CCMC Section 17.300.035. Sizing of the enclosures shall conform to the requirements of the Environmental Programs and Operations (EPO) Division of the Culver City Public Works Department.
  - b. Refuse and recycling material containers stored within individual yards shall be screened from street view.

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## 4 Design Standards for Architectural Styles

### 4.1 Applicability

Projects which utilize Spanish/Mediterranean, Modern, Americana, Cottage, Craftsman, or Prairie architectural styles are subject to the following standards respectively in addition to the objective design standards in this document and objective development standards in the zoning code. For proposed projects which do not fall into one of the styles listed, the applicant shall provide documentation to the Current Planning Division, including the massing, materials colors, and details of said style. All elements of the proposed architectural style shall meet all Objective Development Standards in the previous chapters, as applicable.

### 4.2 Spanish/Mediterranean

Spanish architectural style, also known as Mediterranean or Spanish Revival, is characterized by elements inspired by the architecture of Spain, including features such as stucco walls, clay tile roofs, decorative metalwork, and arched windows and doorways. It often incorporates ornamental details, such as colorful tiles, carved wood accents, and courtyards, to create a warm and inviting Mediterranean-inspired atmosphere.

#### 4.2.1 Massing and Architectural Elements

1. Each publicly facing elevation shall have a projecting one- or two-story volume with minimum width of 10 feet and a minimum depth of three feet. The projecting volume shall either have a forward-facing gable roof form, hip roof form, or a shed roof form. Building massing shall create a usable courtyard space enclosed on at least one side or one or more terrace(s).
2. When pitched roof forms are used, roofs pitches shall not exceed 4.5:12 and may include exposed rafter tails or cornices.
3. Windows shall be taller than they are wide or square. Windows may be rectangular or arched.
4. Windows facing the street must include multiple panes or lites. Simulated divided lites are permitted, but tape-on or snap-on mullions and muntins are prohibited.

#### 4.2.2 Materials and Colors

1. Exterior body materials shall consist of stucco with a smooth, sand, or dash finish. Lace and skip trowel stucco finishes are prohibited.
2. Body colors shall be limited to whites, off-whites, cream, terracotta, ochre, and beige.
3. When pitched roof forms are included, roofs shall utilize clay-colored barrel or S-shaped tiles. When flat roof forms are included, clay-colored barrel or S-shaped tiles shall be utilized on the top of the parapet at all edges.
4. Accent colors for structural elements such as exposed rafters, and balconies shall be deep browns or stained wood finishes.
5. Minor accents such as window and door trim or shutters shall be painted muted shades of blue, green, rust, deep brown, or burgundy. Stained wood trim or accent materials are also permitted.

6. Exterior paving materials shall include terracotta tile, decorative tile, brick, stone, gravel, decomposed granite, or concrete.

### Materials and Colors



Spanish style multi-family building includes a variety of window styles, decorative wrought iron, and smooth stucco materials.

#### 4.2.3 Ornamentation and Details

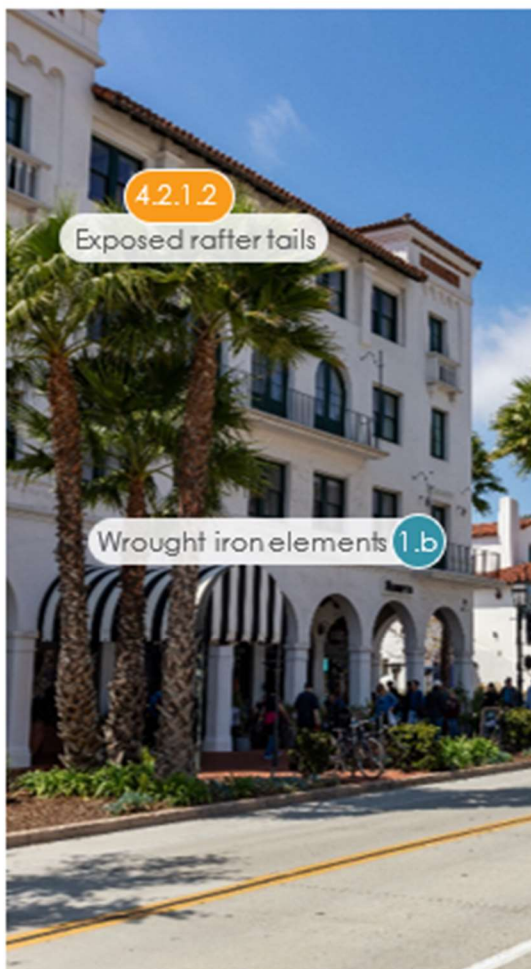
1. Projects shall incorporate architectural detailing on all elevations visible to the public. A minimum of three of the following features are required:
  - a. Decorative tile work around doorways, windows, fountains, or stair risers.
  - b. Wrought iron/tubular steel features in the form of balcony railings or accents over at least 20% of the windows on an elevation.
  - c. Shutters on at least 20% of the windows of an elevation.
  - d. At least one unique, large window (at least 50% larger than all other windows) or feature window with an archway.
  - e. Breeze block openings to garden or courtyard spaces.
  - f. Canvas awnings with wrought iron supports over at least 10% of the windows and doors on an elevation.
  - g. Terracotta gable / attic vents on all forward-facing gables.
  - h. Window boxes, elevated planters, trellises, or pergolas.



**Above:** Balconies, terraces, recessed and arched windows, decorative wrought iron, and elevated planters.

**Left:** Decorative tile steps, wrought iron elements, and divided lites.

**Below:** Breeze block elements, and terracotta gable / attic vents





## 4.3 Modern

Modern architectural styles emerged in the early 20th century and emphasize simplicity, clean lines, horizontality, and the use of modern materials such as glass, steel, and concrete. It seeks to create functional and efficient spaces while embracing minimalist design principles.

### 4.3.1 Massing and Architectural Elements

1. Building shall utilize a combination of simple geometric volumes which emphasize clean lines.
2. Roofs shall be flat, parapet, or low-pitched shed roof forms not exceeding a slope of 3:12. Parapets, if included, shall be at least 24 inches in height. Gable and hip roofs are prohibited.
3. Windows shall include a large, rectangular feature window at least 36 square feet in area utilizing uninterrupted panes. Simple rectangular and circular windows shall be implemented. Ornate windows which include windows with external shutters, divided lites smaller than one (1) square foot, headers, and sills are not permitted. Arched windows are prohibited.

### 4.3.2 Materials and Colors

1. Exterior body materials shall consist of composite panels; non-terracotta-colored tiles; textured, corrugated, or smooth metal siding; stucco with a smooth, sand, or dash finish. Lace and skip trowel stucco finishes are prohibited.
2. Buildings shall incorporate modern materials such as glass, steel, aluminum, composite panels, and sustainable alternatives. Exposed brick, stone, wood, and concrete are not typically used as the predominate building material in modern buildings and may be permitted as accent materials.
3. Exposed gable vents are prohibited.

### 4.3.3 Characteristic Architectural Features

1. Structures shall be generally without ornamentation and emphasize clean geometric (usually straight) lines. Overly ornate elements such as decorative wrought iron (simple round tubular steel is permitted), intricate brick or tilework, carved wood, dentils or decorative cornices, and external shutters are prohibited.
2. Projects shall incorporate a minimum of three of the following architectural features of modern design on publicly visible elevations:
  - a. Curtain wall or floor to ceiling windows.
  - b. Clerestory windows.
  - c. Cantilevered elements with a minimum overhang of 24-inches.
  - d. Projecting fins / wing walls.
  - e. Breeze block walls.
  - f. Metal screens, shades, or roof projections.
  - g. A rectangular volume with a minimum dimension of 10 feet (height) by 15 feet (width) that projects forward from the main body of the building by a minimum of 18 inches.
  - h. At least one unique, large window (at least 25% larger than all other windows).



**Above:** Simple, modern massing, flat roof form, and a variety of rectangular windows.

**Left:** Clean, horizontal lines, cantilevered balconies, and a blend of modern materials.

**Below:** Large, rectangular feature windows, overhanging roof elements, and a blend of modern materials



## 4.4 Americana

Americana architectural style is a modern interpretation of American Farmhouse and draws inspiration from traditional rural farmhouses. It typically features a simple, rectangular masses with a symmetrical facade, a gable roof, and a prominent front porch.

### 4.4.1 *Massing and Architectural Elements*

1. Building shall utilize asymmetrical one-and-a-half to three-story massing with at least one, street-facing gable roof form.
2. Individual planes of elevations facing a public right-of-way shall be symmetrical. The placement of exterior doors to one side of a façade plane shall not be considered as breaking from symmetry.
3. When gable or shed roof pitches are being used, the pitch shall be between 2:12 and 6:12. Flat roof forms may be used. Hip roof forms are prohibited.
4. Roof materials on pitched roofs shall utilize dark colored standing seam metal, flat cement, or composite tiles which mimic the appearance of wood shingles.
5. Windows shall be taller than they are wide with a height to width ratio of at least 3:2. Accent windows of varying shapes and dimensions are permitted.
6. Windows facing the street must include multiple panes or lites or double-hung casement windows. Windows facing the street must include multiple panes or lites. Simulated divided lites are permitted, but tape-on or snap-on mullions and muntins are prohibited.
7. Projects shall include a prominent covered entry or porch. Porch or patio roofs shall be supported by square, wood posts or columns.

### 4.4.2 *Materials and Colors*

1. Exterior body materials shall consist of horizontal clapboard siding, shiplap, or board and batten paneling. Stucco may be permitted as the body material on primary volumes provided minor volumes are treated with clapboard, shiplap, or board and batten paneling. Stucco shall have a smooth, sand, or dash finish. Lace and skip trowel stucco finishes are prohibited.
2. Body colors shall be earth tones, whites, greys, or muted blues or greens.
3. Accent materials shall include brick, stone, board and batten paneling, shiplap, clapboard siding or intentionally textured or formed concrete (board formed, scalloped, etc.). Metal or vinyl siding is not permitted.





**Above:** Simple massing with symmetrical elevation planes, and a prominent front entry.

**Left:** High pitched roof, street facing gables, and board and batten siding.

**Below:** Vertically oriented windows, craftsman detailing, and symmetrical elevation planes.



## 4.5 Cottage

Cottage architectural style is distinguished by steeply pitched roofs with high gables. The façades frequently feature asymmetrical massing, with irregular window placement and varied materials such as wood siding, stone, or brick, contributing to a picturesque appearance. Cottages often incorporate elements like lattice work, flower boxes, and covered porches.

### 4.5.1 Massing and Architectural Elements

1. Building shall utilize asymmetrical one-and-a-half to two-and-a-half-story massing with at least one, street-facing gable roof form.
2. Gable, hip, or shed roofs are permitted and shall be pitched shall be greater than or equal to 4:12. Flat roof forms are prohibited. Roof overhangs at rakes and eaves shall be 12-inches or less.
3. Windows shall be taller than they are wide or square and may be rectangular or arched. Accent windows of varying shapes and dimensions are permitted.
4. Windows facing the street must include multiple panes or lites. Simulated divided lites are permitted, but tape-on or snap-on mullions and muntins are prohibited.
5. Projects shall include a projecting arched entryway element or covered porch.
  - a. If a projecting arched entryway is utilized, entryways shall project at least one foot in depth from the body of the structure and be treated with brick or stone masonry.
  - b. If a porch is utilized, porch roofs shall be supported by square, wood posts with decorative bracing.

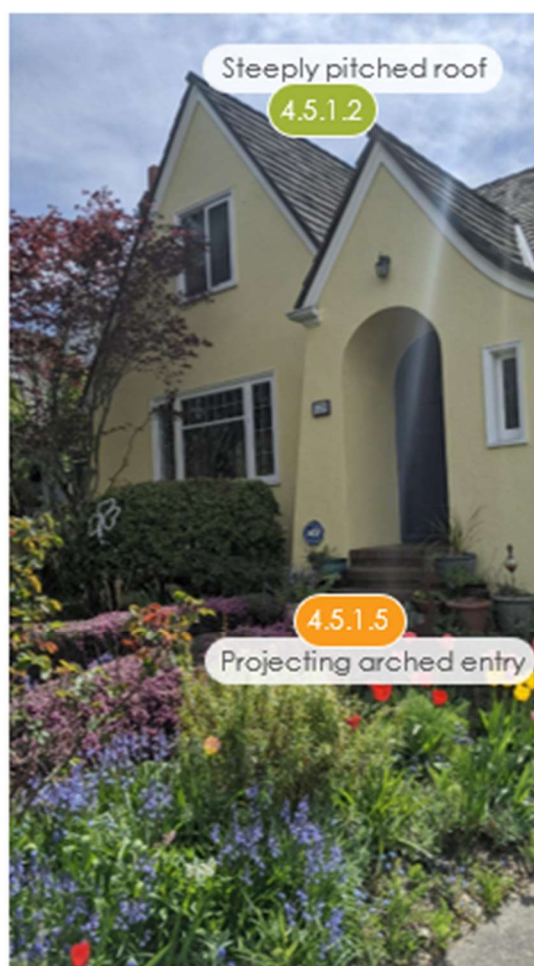
### 4.5.2 Materials and Colors

1. Exterior body materials shall consist of horizontal clapboard siding, shiplap, stucco, or wood shingle. Stucco shall have a smooth, sand, or dash finish. Lace and skip trowel stucco finishes are prohibited. Metal or vinyl siding are prohibited.
2. At least one minor volume must be treated in its entirety with brick or stone masonry.
3. Body colors shall be earth tones, whites, grays, or muted blues or greens.
4. Roofs shall utilize architectural grade asphalt shingles, flat cement tiles, or composite tiles which mimic the appearance of wood shingles. Bay windows on the first story, if included, may utilize metal or copper roof materials.

### 4.5.3 Ornamentation and Details

1. Projects shall incorporate architectural detailing on all elevations visible to the public. A minimum of three of the following features are required:
  - a. Street facing bay window
  - b. Street facing arched feature window
  - c. Roof dormers
  - d. Decorative gable details
  - e. Curved gable roof
  - f. Framed, louvered, or plank -style shutters, window boxes, or balconettes on at least 20% of the windows of a publicly visible elevation





**Above:** Projecting, arched entryway, shutters, and a bay window.

**Left:** Steeply pitched roof, balconette, arched entryway, asymmetric massing and decorative lighting.

**Below:** Window boxes, vertically oriented windows with divided lites, shutters, and a street facing gable.



## 4.6 Craftsman

Craftsman architectural style, prevalent from the late 19th to the early 20th century, is characterized by its dedication to craftsmanship and simplicity. Craftsman homes feature overhanging eaves with exposed rafters, decorative beams, and a strong emphasis on handcrafted elements. The design often includes a front porch with square or tapered columns.

### 4.6.1 Massing and Architectural Elements

1. Building shall utilize simple one-and-a-half to two-and-a-half-story massing with at least one, street-facing gable roof form.
2. Gable or shed roofs are permitted and shall be pitched shall be between 2:12 and 6:12. Flat roof forms are prohibited unless supporting a rooftop deck or elevated terrace. Roof overhangs at rakes shall be at least 12-inches and overhangs at eaves shall be at least 18-inches.
3. Gables shall include exposed, sculpted wood or wood appearing rafter tails.
4. Windows shall be taller than they are wide and rectangular. Accent windows of varying shapes and dimensions are permitted. Windows shall be trimmed with wood or wood appearing materials a minimum of three inches in width by three-quarters (3/4) of an inch in depth when protruding from the wall. On street facing windows, header trim height shall be at least one-and-a-half times the width of the side trim casing and include and a varied profile.
5. Windows facing the street must include multiple panes or lites or double-hung casement windows. Simulated divided lites are permitted, but tape-on or snap-on mullions and muntins are prohibited.
6. Projects shall include a prominent covered entry or porch. Covered entry or porch roofs shall be supported by tapered, square columns or posts on stone or masonry piers or full height stone or masonry columns. Stone or masonry piers supporting wood columns or posts shall be at least two-and-a-half feet in height.

### 4.6.2 Materials and Colors

1. Primary exterior body materials shall consist of horizontal clapboard siding. Board and batten or shingle siding is permitted on gable ends.
2. Body colors shall be earth tones, warm grays, or muted blues or greens. Trim colors shall be stained wood, browns, or whites.
3. Accent materials shall include brick, stone, wood or wood appearing materials. Metal or vinyl siding is not permitted.
4. Roofs shall utilize architectural grade asphalt shingles, flat cement tiles, or cement or composite tiles which mimic the appearance of wood shingles.

### 4.6.3 Ornamentation and Details

1. Projects shall incorporate architectural detailing on all elevations visible to the public. A minimum of two of the following features are required:
  - a. Decorative stone or brick chimney.
  - b. Arts and crafts style lighting.
  - c. Art glass (typically incorporated into side-lites or transom window with the front door).
  - d. Carport with exposed wood beams and sculpted rafter tails.





**Above:** Simple massing with a projecting entry element, and trimmed, double-hung windows with detailed headers.



**Left:** Low pitched roof with a covered porch supported by tapered columns with stone piers, street facing gables, and a combination of clapboard and shingle siding.

**Below:** Covered porch with stone accents, cross-gabled roof with sculpted rafter tails and decorative bracing.



## 4.7 Prairie

Prairie architectural style, developed by Frank Lloyd Wright in the late 19th and early 20th centuries, is inspired by the horizontality of the North American Great Plains. Buildings are characterized by geometric forms, emphasizing rectilinear shapes and flat or gently sloping roofs with wide overhanging eaves and often feature decorative elements like broad, horizontal bands of windows.

### 4.7.1 Massing and Architectural Elements

1. Building shall utilize asymmetrical one to three-story massing with hip or flat roof forms.
2. Hip roofs shall be pitched and shall be between 2:12 and 5:12. Flat or hip roof overhangs shall be a minimum of 18-inches. Eaves shall be enclosed such that beams and rafters are not visible.
3. Windows shall be taller than they are wide with a height to width ratio of at least 3:2. Accent and clerestory windows of varying shapes and dimensions are permitted.
4. Windows facing the street must include multiple panes or lites in the prairie style (these are often called perimeter windows). Simulated divided lites are permitted, but tape-on or snap-on mullions and muntins are prohibited.
5. At least one set of two to five vertical windows in a horizontal group is required on the front elevation.
6. Projects shall include a prominent covered entry. Covered entries shall utilize hip or flat roof forms supported by square columns.

### 4.7.2 Materials and Colors

1. Exterior body materials shall consist of brick or stone block, horizontal clapboard siding, or stucco. If a combination of materials is utilized, materials shall be arranged by order of visual weight with lighter materials above heavier materials (i.e., stucco above clapboard siding above brick). Stucco shall have a smooth, sand, or dash finish. Lace and skip trowel stucco finishes are prohibited.
2. Body colors shall be earth tones, whites, greys, or muted blues or greens. Trim colors shall be stained wood, browns, charcoal, or whites.
3. Accent materials shall include brick, stone, or intentionally textured or formed concrete (board formed, scalloped, etc.) Metal or vinyl siding are prohibited.
4. Roofs shall utilize architectural grade asphalt shingles or flat cement tiles.

### 4.7.3 Ornamentation and Details

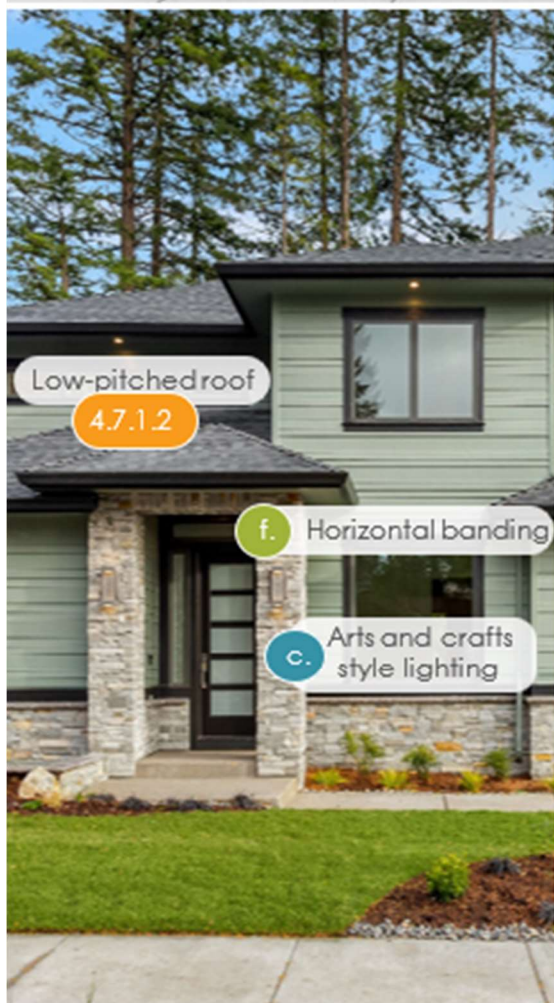
1. Projects shall incorporate architectural detailing on all elevations visible to the public. A minimum of two of the following features are required:
  - a. Decorative stone or brick chimney.
  - b. Low stone or masonry walls surrounding porch or patio.
  - c. Arts and crafts style lighting.
  - d. Art glass window elements (often in the form of stained-glass and geometric patterned glass side-lites or transom windows with the front door).
  - e. Car port with exposed wood beams.
  - f. Horizontal banding on elevation used to divide exterior materials.





**Above:** asymmetric two-story massing with a low-pitched hip roof, tripled vertical windows, and a prominent front entry.

**Left:** Low-pitched hip roof house with prominent entry, clapboard siding, and stone accents.



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## **5 Small Lot Subdivisions Standards**

### **5.1 Introduction**

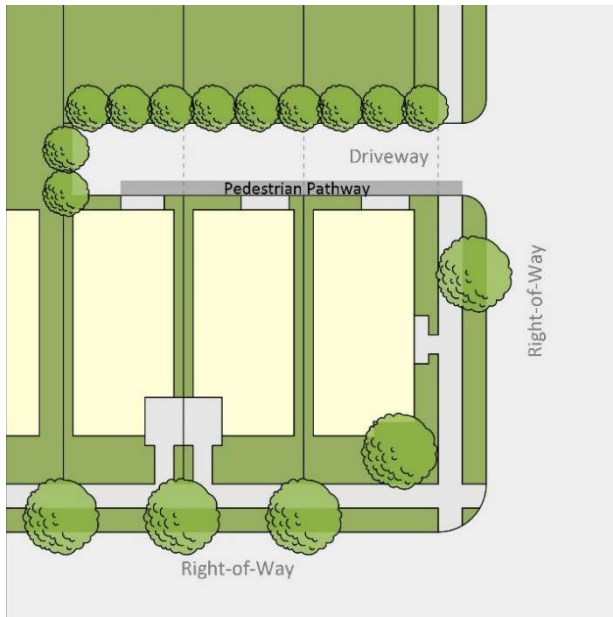
Small lot design standards have been created to assist in shaping small lot developments with their unique complexities. All small lot subdivision projects are required to comply with the Small Lot Design Standards listed below. A building permit is required to comply with the objective design standards listed in this document. All new small lot dwellings must comply with these design standards. The design standards should be used in conjunction with relevant policies from the General Plan and Community Plans.

### **5.2 Small Lot Subdivision Design Standards**

#### **5.2.1 Building Location and Orientation**

2. Exterior setbacks for the Small Lot Subdivision project shall be provided in accordance with the underlying zoning district and the regulations provided in CCMC Section 17.300.020 Setback Regulations and Exceptions. Setbacks shall be measured from the parcel lot lines prior to the subdivision.
3. The front door of the unit(s) closest to the public right of way of the Small Lot Home unit development shall be oriented towards the front property line as defined in the zoning code.
4. Primary pedestrian entrances for each Small Lot Home shall face the public street, a shared pedestrian paseo, or a common courtyard. On a corner lot, the front door of all units, except the front unit, shall be oriented towards the side street. Primary pedestrian entries for individual units fronting interior side property lines shall be provided a 5-foot by 5-foot alcove or oriented to not face doors and windows of uses on adjacent properties.
5. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home on the same development.

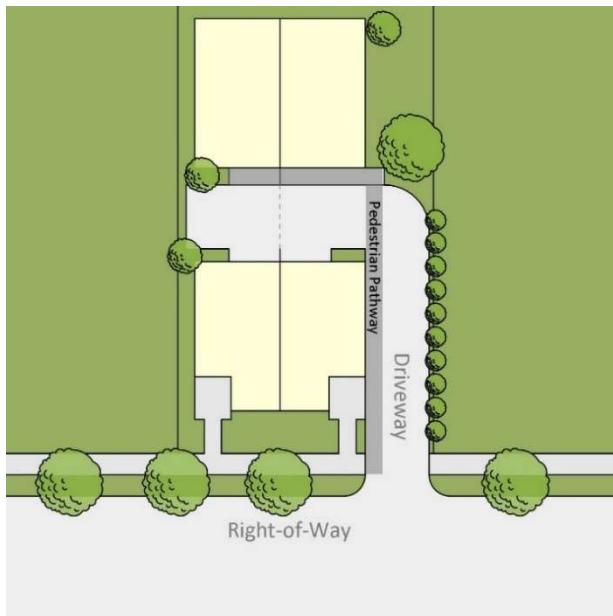
**Figure 1. Building Orientation**



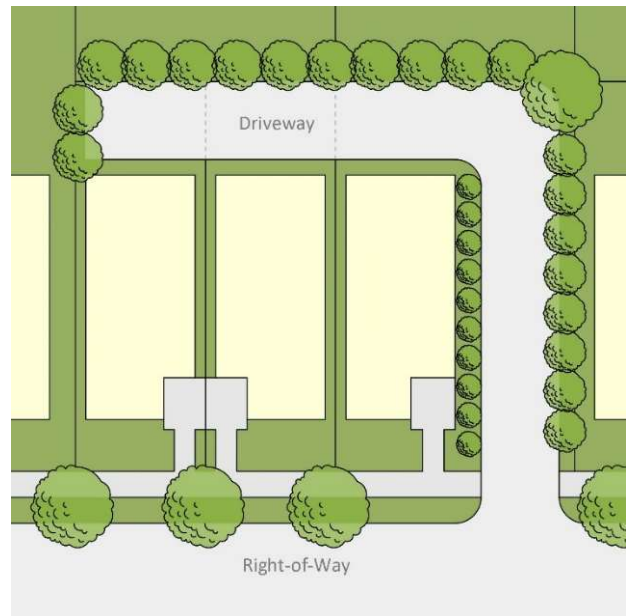
*On a corner lot, the front door of all units, except the front unit, shall be oriented towards the side street.*



*Primary pedestrian entries for individual units fronting interior side property lines shall be provided a 5-foot by 5-foot alcove or oriented to not face doors and windows of uses on adjacent properties.*

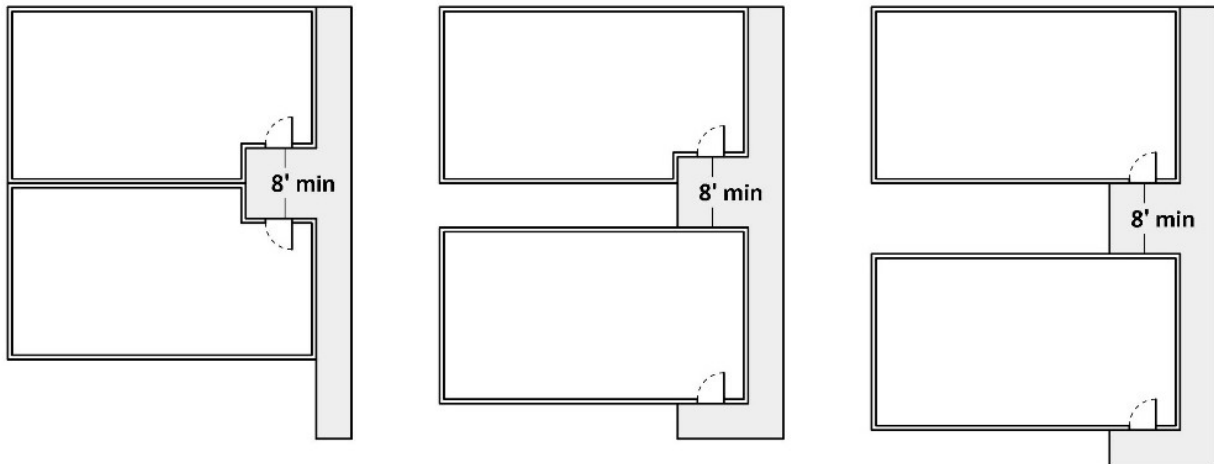


*Primary pedestrian entrances for each Small Lot Home shall face the public street, a shared pedestrian paseo, or a common courtyard*



*The front door of the unit(s) closest to the public right of way of the Small Lot Home unit development shall be oriented towards the front property line as defined in the zoning code.*

**Figure 2. Primary Entry Separation**



*Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home on the same development.*

6. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.
7. All primary entryways shall incorporate at least four of the following elements:
  - g. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.
  - h. The doorway shall be recessed at least 3 inches from the building façade.
  - i. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade.
  - j. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
  - k. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
  - l. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.

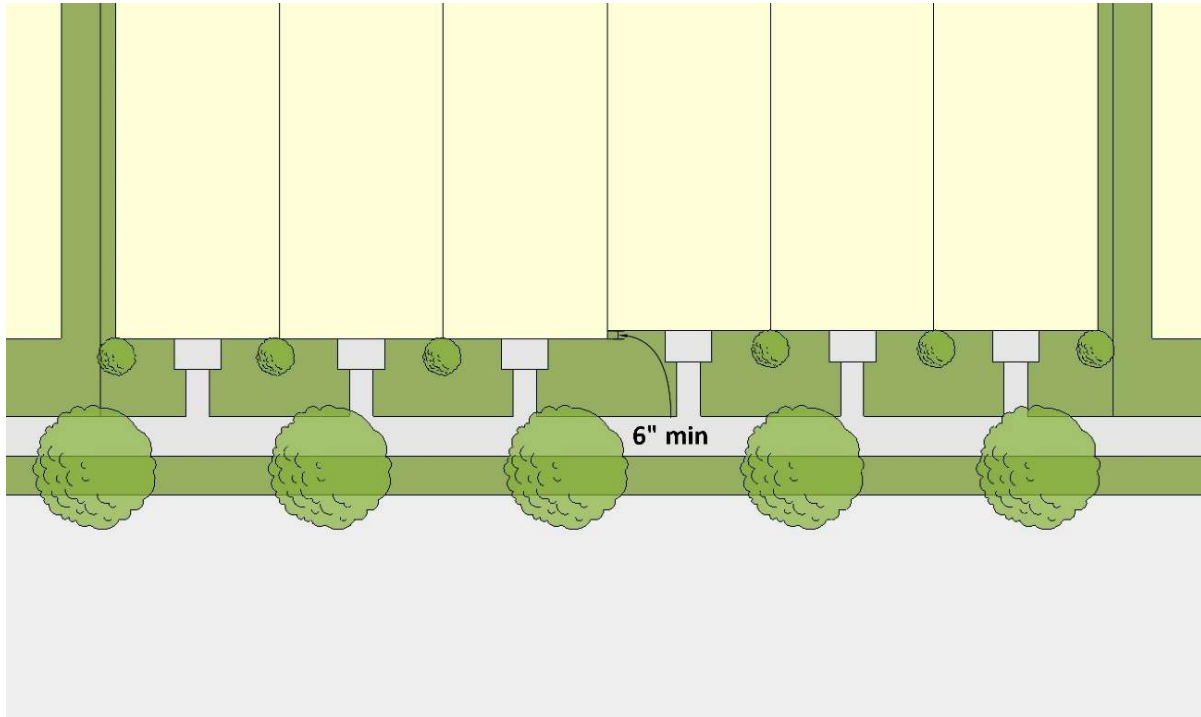
### **5.2.2 Neighborhood Compatibility and Privacy**

1. Upper floor step backs shall conform to CCMC Section 17.210.020.
2. Rooftop decks shall conform to CCMC Section 17.210.020.
3. Window Alignment. When building separation is less than 20 feet at the time of application submittal, no more than 20 percent of window or balcony area of the new development may align directly with existing neighboring windows or balconies without screening obstructing views into at least 80 percent of the area of the window. Visual screening may be accomplished through the use of landscaping that can be shown to grow to the height of the top of the windows, walls, accessory buildings, or other solid structures. Translucent windows and clerestory windows are exempt from this requirement.

### 5.2.3 Building Mass and Scale

4. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.
5. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.

**Figure 3. Lateral Shift in Façade**



6. Roofline Variation. Rooflines along elevations facing a public street shall be articulated using at least one of the following techniques.
  - m. Color, texture, or material changes.
  - n. Variations, projections, or reveals in the wall plane.
  - o. Variations in fenestration size or pattern.
7. Façade Articulation. All façades facing a right-of-way and the project perimeter, as well as all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate all of the following façade articulation techniques:
  - a. Change in exterior building materials to include at least two high quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
  - b. Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.

- c. Window treatments that are extruded or recessed from the building façade a minimum of 2 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
- d. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
- e. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

#### **5.2.4 Building Materials and Colors**

- 1. Number of Materials or Colors. Buildings shall incorporate a maximum of two (2) main body colors, three (3) accent colors, and three (3) different materials, excluding windows, doors, or trim. Street-facing exterior elevations shall include at least two (2) colors and at least (2) different materials, (in addition to glazing, window trim, doors, or railings) that can accentuate building masses. The main body color is the predominant color used on the face(s) of the building.
- 2. Glare. Reflective surfaces and materials such as mirrored glass and polished aluminum are prohibited.
- 3. Color and Material Changes. Material and color changes shall occur at an inside corner, underside of a massing element, or wrapped to an appropriate termination point such as a roof break, half-column, bay window, or enhanced trim element.
- 4. Street level architectural elements and ornamental features shall not impede pedestrian routes.

#### **5.2.5 Open Space, Pedestrian Pathways, Landscaping, and Lighting**

- 1. Pedestrian pathways of a minimum width of 3 feet shall be provided from the public right-of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures. All street-facing setback areas shall comply with the landscape and hardscape requirements of CCMC section 17.310.020.
- 2. A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.
- 3. All setback and open areas not used for buildings shall comply with CCMC Section 17.310.020 A.
- 4. All yards of a subdivision abutting the public right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.
- 5. Landscaping Standards. All project sites shall be landscaped in accordance with Municipal Code Chapter 17.310 Landscaping.
- 6. Fences, Hedges, and Walls. Fences, hedges, and walls shall be designed in accordance with Municipal Code Section 17.300.030.
- 7. Variety of Plant Materials. Landscaping shall contain a combination of low (3 – 24 inches), medium (2 – 5 feet) and tall (5 + feet) plant materials. For example, low planting may be used in the foreground, proceeding back to the tallest in the background.



8. Fence and Wall Materials. Fence and wall materials, colors and detailing shall match the architectural style of buildings on the site. Permanent chain link fencing is not permitted.
9. Front Yard Walls. Freestanding solid front yard walls of at least thirty (30) inches in height, if included, shall be setback at least two (2) feet from the sidewalk and incorporate low plantings or vines placed between the sidewalk and the fence or wall to soften the appearance of the wall and preserve the public parkway environment.
10. Lighting shall be directed onto the driveways and walkways within the development and away from adjacent properties.
11. Lighting of at least one (1) foot-candle (fc) shall be installed and maintained within all covered and enclosed parking areas and shall be screened to reduce glare onto public sidewalks and adjacent properties. Lighting levels shall not be increased by more than one (1) fc onto the public right-of-way and not more than 0.5 fc onto adjacent properties.
12. Landscape and pedestrian walkway lighting mounted to building walls or freestanding poles shall not be placed higher than ten feet above grade or the walkway surface. These lights shall be shielded and set back from the property line a minimum distance equal to the height of the light fixture to confine lighted area to within the property line.
13. Lighting fixtures shall be of the same architectural style, materials, and color of the structure.

#### **5.2.6 Utility and Service Areas**

1. Screening. Mechanical and utility equipment shall be screened in accordance with Municipal Code Section 17.300.035.
2. Refuse and recycling material containers shared by multiple dwelling units shall be enclosed and screened in accordance with Municipal Code Section 17.300.035. Sizing of the enclosures shall conform to the requirements of the Environmental Programs and Operations (EPO) Division of the Culver City Public Works Department.
3. Refuse enclosures shall incorporate roof structures to help improve stormwater quality and to screen the enclosure from views from above.
4. Refuse enclosures shall be finished using materials and colors that are consistent with the chosen architectural style. Enclosure gates shall be opaque.
5. Refuse and recycling material containers stored within individual yards shall be screened from street view.

### **5.3 Small Lot Subdivision Map Standards**

These Map Standards are to be applied in addition to the provisions of the Small Lot Ordinance (CCMC Section 15.10.950 ) and general requirements that fall under the Map Act and the authority of the Advisory Agency. Amendments to the small lot subdivision map standards may be approved by the Planning Commission.

Applicability:

1. New Construction:
  - a. Applications for small lot subdivisions that only involve new construction will be subject to all Small Lot Subdivision Map Standards, where applicable.

**Small Lot Subdivision Standards**

2. Combined New Construction and Existing Dwelling Units:
  - a. Applications for small lot subdivisions that involve the retention of an existing legal dwelling or dwellings and the new construction of a small lot home(s) will be subject to the Map Standards where they are deemed feasible by the City and do not result in the removal, including partial removal, of an existing legal dwelling unit or structure.

## **5.4 Small Lot Map Standards:**

1. A Common Access Driveway (easement) shall be provided for all small lot subdivisions with a minimum width of 10 feet that is open to the sky, unless the driveway leads to subterranean parking. The Common Access Driveway shall also provide a minimum ground floor width as follows:
  - a. 10 feet minimum for driveways serving up to 2-4 small lot homes.
  - b. 16 feet minimum for driveways serving 5 or more small lot homes.
2. A Maintenance Agreement shall be created, composed of all property owners to maintain all common area and shared facilities such as trees, landscaping, trash, parking, community driveways, walkways, etc.
3. Automobile Guest Parking Guest parking, if provided, shall be readily available to all guests and be accessible from a common access driveway or common access walkway.
4. Bicycle Parking shall be provided in accordance with Section 17.320.045 of the Municipal Code.
5. All Refuse Pick-Up shall be in compliance with CCMC Section 1.300.035.C.4.
6. Small lot subdivision maps that are determined by Community Development Director, or their designee, to be inconsistent with these standards, where applicable, may be denied or conditioned to comply.